



City of Bonner Springs

KANSAS

Monday, June 8, 2026

200 East Third Street, Bonner Springs, KS 66012
Bonner Springs City Hall
Council Chambers

WORKSHOP MEETING - 7:00 p.m.
REGULAR CITY COUNCIL MEETING - 7:30 p.m.

The meeting is open to the public.

WORKSHOP - 7:00 P.M.

1. Storage Container Regulations

CITY COUNCIL MEETING - 7:30 P.M.

CITIZEN CONCERNS ABOUT ITEMS NOT ON TODAY'S AGENDA.

This item is for comments and questions from the audience about items that are not included on today's agenda. Copies of material presented to the City Council must also be provided to the city clerk.

CONSENT AGENDA

1. Minutes of the May 26, 2026 City Council Meeting

Action Make a motion to approve the minutes of the May 26, 2026, City Council meeting as presented.

Recommendation

Documents:

- 1. 05262026 CCM Minutes

2. Claims for City Operations

Action Staff enclosed the regular claims for City Operations in the amount of \$944,896.43 and utility refunds in the amount of \$1,346.60.

Recommendation Staff recommends approval.

Documents:

- 1. Check Report
- 2. Main Expense Approval Report
- 3. Refund Check Register

3. Public Use Request - UBT Customer Appreciation Event

Action Make a motion to approve the Public Use Request for the UBT Customer Appreciation Event.

Recommendation Staff recommends approval.

Documents:

- 1. PUR - Customer Appreciation Event

OLD BUSINESS

NEW BUSINESS

1. Baseball Field Lighting Change Order #2

Action Make a motion to approve Change Order No. 2 for Third Generation Electrical Inc. in the amount of \$12,563.

Recommendation Staff recommends approval.

Documents:

- 1. Lions Park Scoreboard CKT Quote

2. Bid Award - Pickleball Courts

Action Make a motion to award the bid for pickleball courts to Multisports LLC in the amount of \$187,915.

Recommendation The City Engineer and Recreation Director recommend approval.

Documents:

- 1. Bid Tabs North Park Pickleball Courts

2. Final Plans North Park PB Courts
3. North Park Pickleball Courts Final Estimate

3. MC-01-26 - Municipal Code Amendment — Storage Container Regulations

Action Make a motion to approve an ordinance amending the Municipal Code of Bonner Springs as it relates to Storage Containers.

Recommendation Staff recommends approval.

Documents:

1. StorageContainerMCAmendment
2. StorageContainerMCAmendmentOrdinance

4. Rezoning – BSRZ-03-26 – 14150 Minnesota Avenue (PTS Consulting)

Action Make a motion to approve an ordinance allowing for the requested rezoning of 14150 Minnesota Avenue.

Recommendation Staff recommends approval of the zoning with nine (9) stipulations. At the May 19th, 2026 meeting, the Planning Commission, by a unanimous 6-0 vote, recommended approval to the Governing Body.

Documents:

1. CompleteStaffReportBSRZ-03-26
2. 5.19.26 PC minutes draft
3. RezoningOrdPTSConsultingBSRZ-03-26

5. Resolution to Amend and Extend Industrial Revenue Bonds for Bonner Springs Villas

Action Staff and Bond Counsel recommend approval.

Recommendation Make a motion to adopt a resolution extending the termination date of the original Resolution of Intent to December 31, 2026.

Documents:

1. Resolution Amending Resolution No. 2024-04 (Resolution of Intent) - Bonner Springs, KS - IRB, BSV Project (Phase 1) - 2026

REPORTS

1. City Manager's Report

Documents:

1. City Managers Update 6-4-26
2. Solid Waste Reports - 2026
3. 6.3.26PendingPlanningProjects
4. 6.3.26CompletedPlanningProjects
5. InCode Building Permit Report
6. InCode Code Enforcement Report

2. City Council Items

3. Mayor's Report

ADJOURNMENT

1. Adjournment

Action Make a motion to adjourn the City Council meeting at ___ p.m.

Memorandum

Date: June 8, 2026
To: Mayor and City Council
From:

Subject: Storage Container Regulations

Recommendation:

Action:

Background:

Discussion:

Financial Impact:

Memorandum

Date: June 8, 2026
To: Mayor and City Council
From: Christina Brake

Subject: Minutes of the May 26, 2026 City Council Meeting

Recommendation:

Action: Make a motion to approve the minutes of the May 26, 2026, City Council meeting as presented.

Background:

Discussion:

Financial Impact:



City of Bonner Springs

KANSAS

City Council Meeting Minutes May 26, 2026

WORKSHOP – 6:30 P.M.

Council Present: Mayor Stephens, Councilmembers Reeves, Long, Blanks, McMahan, Wood and Shannon. Councilmembers Gurley and Kipp were absent.

City Staff Present: Amber Vogan, City Manager; Chris Brake, City Clerk; Carrie Handy, Assistant City Manager; James Zeeb, Fire Chief; Billy Naff, Police Chief; Tatum Bartels, Recreation Coordinator and Matt Beets, Public Works Director

Equipment Showcase – The Fire, Police, Public Works and Recreation departments displayed their new vehicles in the city parking lot across from City Hall.

CITY COUNCIL MEETING - 7:30 P.M.

Council Present: Mayor Stephens, Councilmembers Reeves, Long, Blanks, McMahan, Wood and Shannon. Councilmembers Gurley and Kipp were absent.

City Staff Present: Amber Vogan, City Manager; Chris Brake, City Clerk; Carrie Handy, Assistant City Manager; Tillie LaPlante, Finance Director; Matt Beets, Public Works Director; James Zeeb, Fire Chief and Michael Kelling, Police Captain.

The mayor led the Pledge of allegiance.

PRESENTATIONS

1. **Proclamation - National Gun Violence Awareness** - Mayor Stephens presented a proclamation to members of Moms Demand Action recognizing National Gun Violence Awareness Week and Wear Orange Weekend.

CITIZEN CONCERNS ABOUT ITEMS NOT ON TODAY'S AGENDA – None presented.

CONSENT AGENDA –

1. Minutes of the May 11, 2026 City Council Meeting
 2. Claims for City Operations
- Reeves moved and Blanks seconded to approve the consent agenda as presented. Unanimous approval.

OLD BUSINESS - None presented

NEW BUSINESS -

1. **Public Hearing for Scannell Building 3C Industrial Revenue Bonds** - Shannon moved and Wood seconded to open the public hearing at 7:37 p.m. to consider the request for Industrial Revenue Bonds for Scannell Building 3C, Lot 4 at Compass 70 Logistics Center.
Cam Duff, Scannell Properties, thanked the city for their support.
Bridgett Morris, Kutak Rock, stated the resolution of intent will be in effect through the end of the year.
Shannon moved and Blanks seconded to close the public hearing at 7:42 p.m.
2. **Resolution of Intent to Issue Industrial Revenue Bonds for Scannell Industries Building 3C, Lot 4** - Shannon moved and Blanks seconded approve a Resolution of Intent to Issue Industrial Revenue Bonds for Scannell Building 3C, Lot 4 in the Compass 70 industrial development. Unanimous approval. Assigned Resolution No. 2026-05
3. **Vehicle Storage Building Concrete Work - Change Order Request** – Blanks moved and Long seconded approve a change order with Harbinger Concrete for additional concrete work associated with the Public Works Vehicle Storage Building project in the amount of \$36,865.52. Unanimous approval.
4. **Resolution to Amend the City Fees Schedule** - Shannon moved and Reeves seconded to adopt a resolution amending the city fee schedule for the City of Bonner Springs, Kansas. Unanimous approval. Assigned Resolution No. 2026-06

REPORTS

City Manager's Report - The city manager reminded everyone that the first Bonner Springs Dumpster Day will be at the Azura parking lot on Saturday 8am-12pm. Additional information is on the city's website and social media pages. The city has ordered 10 dumpsters and two metal recycling dumpsters that will be open to residents.

City staff recognized Gunnar Istas, Lead Meter Tech last month for his ethics and dedication.

City Council Items

- McMahan participated in the Memorial Day Service and thanked the city clerk for her work.
- Wood reiterated a request to support local stores and states she was again impressed with the detail of the work presented.
- Shannon thanked staff and stated Bonner Springs is a good place to live, a good town and things are going great.
- Blanks stated the Memorial Day service was great and attendance has grown each year. Blanks stated the cemetery looked great. Blanks thanked the police department for allowing her to participate in the active shooter training. She was blown away by their professionalism, intent and care. The training provided great insight into where public dollars are going and the importance of investing in training. Thursday, June 4th starts the First Thursday Summer Concert series.
City Band kicks off June 11.
June 18th Chamber appreciation lunch.
- Reeves asked about killing weeds on spring creek, thanked public works for patching on Metropolitan.

Mayor's Report- Mayor Stephens reported the Memorial Day service turned out well, with wonderful weather. Civil Air Patrol participated for the second year. High school students sang the National Anthem and played Taps. He reminded everyone that City Band Concerts start June 11th.

ADJOURNMENT – Blanks moved and Shannon seconded to adjourn the City Council meeting at 8:01 p.m. Unanimous approval.

_____ Christina Brake, City Clerk

Memorandum

Date: June 8, 2026
To: Mayor and City Council
From: Debbi Stanton

Subject: Claims for City Operations

Recommendation: Staff recommends approval.

Action: Staff enclosed the regular claims for City Operations in the amount of \$944,896.43 and utility refunds in the amount of \$1,346.60.

Background: Check numbers 159016-159091 were voided due to a printer error.

Discussion:

Financial Impact:



Bonner Springs, KS

Check Report

By Check Number

Date Range: 06/02/2026 - 06/04/2026

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: AP BANK-AP BANK						
6515	911 CUSTOM LLC	06/02/2026	Regular	0.00	24,483.95	158988
11701	ALL COPY PRODUCTS INC	06/02/2026	Regular	0.00	704.98	158989
13260	ALLIED FENCE & SECURITY OF KANSAS CORP	06/02/2026	Regular	0.00	971.56	158990
10078	AMAZON CAPITAL SERVICES INC	06/02/2026	Regular	0.00	2,031.50	158991
10078	AMAZON CAPITAL SERVICES INC	06/02/2026	Regular	0.00	88.93	158992
7169	AMERICAN RED CROSS	06/02/2026	Regular	0.00	1,326.00	158993
12864	ANGEL ARMOR LLC	06/02/2026	Regular	0.00	1,535.00	158994
3303	ASPHALT SALES CO INC	06/02/2026	Regular	0.00	2,446.76	158995
5615	AT&T	06/02/2026	Regular	0.00	308.72	158996
11698	AT&T	06/02/2026	Regular	0.00	602.64	158997
5184	AT&T MOBILITY	06/02/2026	Regular	0.00	1,750.82	158998
2470	ATMOS ENERGY	06/02/2026	Regular	0.00	442.18	158999
1461	AUGUSTINE EXTERMINATORS INC	06/02/2026	Regular	0.00	387.81	159000
12638	BAILEY TRAINING AND SUPPORT LLC	06/02/2026	Regular	0.00	490.00	159001
12688	BOARD OF PUBLIC UTILITIES	06/02/2026	Regular	0.00	25.90	159002
4172	BOUND TREE MEDICAL LLC	06/02/2026	Regular	0.00	530.91	159003
13178	BRENNTAG SOUTHWEST INC	06/02/2026	Regular	0.00	2,433.00	159004
13250	BRIDGE BROTHERS INC	06/02/2026	Regular	0.00	28,780.80	159005
0139	BYERS GLASS & MIRROR INC	06/02/2026	Regular	0.00	550.00	159006
13039	CENTRAL JACKSON COUNTY FIRE PROTECTION I	06/02/2026	Regular	0.00	2,000.00	159007
12834	CHALLENGER TEAMWEAR LLC	06/02/2026	Regular	0.00	3,101.25	159008
11793	CHARTER COMMUNICATIONS HOLDING LLC	06/02/2026	Regular	0.00	265.36	159009
2733	CHRIS BRAKE	06/02/2026	Regular	0.00	211.85	159010
10027	CINTAS	06/02/2026	Regular	0.00	764.91	159011
11655	CINTAS CORPORATION NO 2	06/02/2026	Regular	0.00	766.32	159012
11908	CMRS-FP	06/02/2026	Regular	0.00	800.00	159013
7888	COGENT INC	06/02/2026	Regular	0.00	445.00	159014
5560	COMMERCIAL AQUATIC SERVICES INC	06/02/2026	Regular	0.00	1,286.83	159015
10622	COMPASS GROUP USA INC	06/02/2026	Regular	0.00	-221.25	159016
10622	COMPASS GROUP USA INC	06/02/2026	Regular	0.00	221.25	159016
11987	COOL HEAT KC LLC	06/02/2026	Regular	0.00	-2,440.00	159017
11987	COOL HEAT KC LLC	06/02/2026	Regular	0.00	2,440.00	159017
12689	CORE & MAIN LP	06/02/2026	Regular	0.00	942.11	159018
12689	CORE & MAIN LP	06/02/2026	Regular	0.00	-942.11	159018
12127	DAYCO PAINTING INC	06/02/2026	Regular	0.00	-69,500.00	159019
12127	DAYCO PAINTING INC	06/02/2026	Regular	0.00	69,500.00	159019
12684	DEFFENBAUGH INDUSTRIES INC	06/02/2026	Regular	0.00	7,344.69	159020
12684	DEFFENBAUGH INDUSTRIES INC	06/02/2026	Regular	0.00	-7,344.69	159020
13276	DELAWARE LLC	06/02/2026	Regular	0.00	345.00	159021
13276	DELAWARE LLC	06/02/2026	Regular	0.00	-345.00	159021
13268	DREAM COLLISION TONGANOXIE LLC	06/02/2026	Regular	0.00	-2,971.02	159022
13268	DREAM COLLISION TONGANOXIE LLC	06/02/2026	Regular	0.00	2,971.02	159022
11417	EQUIPMENTSHARE.COM INC	06/02/2026	Regular	0.00	-1,895.14	159023
11417	EQUIPMENTSHARE.COM INC	06/02/2026	Regular	0.00	1,895.14	159023
10964	EVERGY FKA KCP&L	06/02/2026	Regular	0.00	448.41	159024
10964	EVERGY FKA KCP&L	06/02/2026	Regular	0.00	-448.41	159024
10942	EVERGY KANSAS CENTRAL INC FKA WESTAR ENI	06/02/2026	Regular	0.00	-13,063.37	159025
10942	EVERGY KANSAS CENTRAL INC FKA WESTAR ENI	06/02/2026	Regular	0.00	13,063.37	159025
4342	FELDMANS	06/02/2026	Regular	0.00	-23.74	159026
4342	FELDMANS	06/02/2026	Regular	0.00	23.74	159026
2755	FTC EQUIPMENT LLC	06/02/2026	Regular	0.00	-2,965.00	159027
2755	FTC EQUIPMENT LLC	06/02/2026	Regular	0.00	2,965.00	159027
7858	GALLS LLC	06/02/2026	Regular	0.00	-2,683.09	159028
7858	GALLS LLC	06/02/2026	Regular	0.00	2,683.09	159028

Check Report

Date Range: 06/02/2026 - 06/04/2026

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
12997	GOVERNMENTJOBS.COM, INC	06/02/2026	Regular	0.00	-2,750.00	159029
12997	GOVERNMENTJOBS.COM, INC	06/02/2026	Regular	0.00	2,750.00	159029
1942	GRASS PAD INC	06/02/2026	Regular	0.00	266.26	159030
1942	GRASS PAD INC	06/02/2026	Regular	0.00	-266.26	159030
1532	GT DISTRIBUTORS INC	06/02/2026	Regular	0.00	67.98	159031
1532	GT DISTRIBUTORS INC	06/02/2026	Regular	0.00	-67.98	159031
12685	HACH COMPANY	06/02/2026	Regular	0.00	-2,470.00	159032
12685	HACH COMPANY	06/02/2026	Regular	0.00	2,470.00	159032
4275	HAYNES EQUIPMENT CO INC	06/02/2026	Regular	0.00	1,235.06	159033
4275	HAYNES EQUIPMENT CO INC	06/02/2026	Regular	0.00	-1,235.06	159033
3078	HD SUPPLY INC	06/02/2026	Regular	0.00	1,319.55	159034
3078	HD SUPPLY INC	06/02/2026	Regular	0.00	-1,319.55	159034
12771	HEATHER LANDON	06/02/2026	Regular	0.00	1,783.33	159035
12771	HEATHER LANDON	06/02/2026	Regular	0.00	-1,783.33	159035
7242	HELGET GAS PRODUCTS INC	06/02/2026	Regular	0.00	-28.55	159036
7242	HELGET GAS PRODUCTS INC	06/02/2026	Regular	0.00	28.55	159036
12690	HOLLIDAY SAND AND GRAVEL CO	06/02/2026	Regular	0.00	-3,742.47	159037
12690	HOLLIDAY SAND AND GRAVEL CO	06/02/2026	Regular	0.00	3,742.47	159037
7269	INDELCO PLASTICS CORPORATION	06/02/2026	Regular	0.00	671.68	159038
7269	INDELCO PLASTICS CORPORATION	06/02/2026	Regular	0.00	-671.68	159038
6581	INLAND TRUCK PARTS CO	06/02/2026	Regular	0.00	1,456.05	159039
6581	INLAND TRUCK PARTS CO	06/02/2026	Regular	0.00	-1,456.05	159039
1021	JACKSON SERVICE CENTER INC	06/02/2026	Regular	0.00	-266.20	159040
1021	JACKSON SERVICE CENTER INC	06/02/2026	Regular	0.00	266.20	159040
12354	JEFFREY COX	06/02/2026	Regular	0.00	-2,695.00	159041
12354	JEFFREY COX	06/02/2026	Regular	0.00	2,695.00	159041
11940	JOHN DAMIAN JOHNSON	06/02/2026	Regular	0.00	2,021.89	159042
11940	JOHN DAMIAN JOHNSON	06/02/2026	Regular	0.00	-2,021.89	159042
12949	KCJP	06/02/2026	Regular	0.00	5,286.37	159043
12949	KCJP	06/02/2026	Regular	0.00	-5,286.37	159043
13271	KIM FEIST	06/02/2026	Regular	0.00	108.00	159044
13271	KIM FEIST	06/02/2026	Regular	0.00	-108.00	159044
12835	LEAF CAPITAL FUNDING LLC	06/02/2026	Regular	0.00	363.07	159045
12835	LEAF CAPITAL FUNDING LLC	06/02/2026	Regular	0.00	-363.07	159045
8009	LIFE-ASSIST, INC	06/02/2026	Regular	0.00	576.55	159046
8009	LIFE-ASSIST, INC	06/02/2026	Regular	0.00	-576.55	159046
12881	LK POWER SYSTEMS LLC	06/02/2026	Regular	0.00	-374.99	159047
12881	LK POWER SYSTEMS LLC	06/02/2026	Regular	0.00	374.99	159047
1836	LOWE'S CREDIT SERVICES	06/02/2026	Regular	0.00	671.36	159048
1836	LOWE'S CREDIT SERVICES	06/02/2026	Regular	0.00	-671.36	159048
9879	MAINSTREET CREDIT UNION	06/02/2026	Regular	0.00	885.00	159049
9879	MAINSTREET CREDIT UNION	06/02/2026	Regular	0.00	-885.00	159049
6137	METRO COURIER INC	06/02/2026	Regular	0.00	-68.36	159050
6137	METRO COURIER INC	06/02/2026	Regular	0.00	68.36	159050
13273	MICHAEL COLLINS	06/02/2026	Regular	0.00	270.00	159051
13273	MICHAEL COLLINS	06/02/2026	Regular	0.00	-270.00	159051
13270	MICHELLE EICKHOFF	06/02/2026	Regular	0.00	910.00	159052
13270	MICHELLE EICKHOFF	06/02/2026	Regular	0.00	-910.00	159052
5912	MID-AMERICA REGIONAL COUNCIL	06/02/2026	Regular	0.00	-768.00	159053
5912	MID-AMERICA REGIONAL COUNCIL	06/02/2026	Regular	0.00	768.00	159053
8001	MIDWEST PUBLIC RISK	06/02/2026	Regular	0.00	-565,120.00	159054
8001	MIDWEST PUBLIC RISK	06/02/2026	Regular	0.00	565,120.00	159054
5116	MILLER SIGN SHOPPE LLC	06/02/2026	Regular	0.00	2,200.00	159055
5116	MILLER SIGN SHOPPE LLC	06/02/2026	Regular	0.00	-2,200.00	159055
13162	NEXT GENERATION RECREATION	06/02/2026	Regular	0.00	1,944.23	159056
13162	NEXT GENERATION RECREATION	06/02/2026	Regular	0.00	-1,944.23	159056
12682	O'REILLY AUTOMOTIVE INC	06/02/2026	Regular	0.00	-115.50	159057
12682	O'REILLY AUTOMOTIVE INC	06/02/2026	Regular	0.00	115.50	159057
3393	PACE ANALYTICAL SERVICES LLC	06/02/2026	Regular	0.00	517.00	159058
3393	PACE ANALYTICAL SERVICES LLC	06/02/2026	Regular	0.00	-517.00	159058
3618	PENNYS CONCRETE INC	06/02/2026	Regular	0.00	480.00	159059

Check Report

Date Range: 06/02/2026 - 06/04/2026

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
3618	PENNYS CONCRETE INC	06/02/2026	Regular	0.00	-480.00	159059
11541	PEREGRINE CORPORATION	06/02/2026	Regular	0.00	663.60	159060
11541	PEREGRINE CORPORATION	06/02/2026	Regular	0.00	-663.60	159060
3531	PERRY AND TRENT LLC	06/02/2026	Regular	0.00	6,020.00	159061
3531	PERRY AND TRENT LLC	06/02/2026	Regular	0.00	-6,020.00	159061
6374	POLYDYNE INC	06/02/2026	Regular	0.00	3,114.00	159062
6374	POLYDYNE INC	06/02/2026	Regular	0.00	-3,114.00	159062
11644	PROGRESSIVE ELECTRONICS INC	06/02/2026	Regular	0.00	405.00	159063
11644	PROGRESSIVE ELECTRONICS INC	06/02/2026	Regular	0.00	-405.00	159063
12674	PUSHWATER ENTERPRISES INC	06/02/2026	Regular	0.00	853.50	159064
12674	PUSHWATER ENTERPRISES INC	06/02/2026	Regular	0.00	-853.50	159064
10030	QUALITY SPEAKS LLC	06/02/2026	Regular	0.00	92.03	159065
10030	QUALITY SPEAKS LLC	06/02/2026	Regular	0.00	-92.03	159065
11889	RODINA COMPANY, INC	06/02/2026	Regular	0.00	22,283.00	159066
11889	RODINA COMPANY, INC	06/02/2026	Regular	0.00	-22,283.00	159066
11773	RONALD TILDEN	06/02/2026	Regular	0.00	241.75	159067
11773	RONALD TILDEN	06/02/2026	Regular	0.00	-241.75	159067
13272	ROSE CASPER	06/02/2026	Regular	0.00	50.00	159068
13272	ROSE CASPER	06/02/2026	Regular	0.00	-50.00	159068
12945	SBS SERVICES GROUP LLC	06/02/2026	Regular	0.00	1,120.00	159069
12945	SBS SERVICES GROUP LLC	06/02/2026	Regular	0.00	-1,120.00	159069
13193	SHINER HOLDING COMPANY, LLC	06/02/2026	Regular	0.00	4,500.00	159070
13193	SHINER HOLDING COMPANY, LLC	06/02/2026	Regular	0.00	-4,500.00	159070
13160	STAPLES	06/02/2026	Regular	0.00	217.58	159071
13160	STAPLES	06/02/2026	Regular	0.00	-217.58	159071
12361	STEPHEN MEILLER	06/02/2026	Regular	0.00	-1,046.99	159072
12361	STEPHEN MEILLER	06/02/2026	Regular	0.00	1,046.99	159072
12883	Stock Enterprises, LLC	06/02/2026	Regular	0.00	1,729.82	159073
12883	Stock Enterprises, LLC	06/02/2026	Regular	0.00	-1,729.82	159073
9824	STRYKER SALES LLC	06/02/2026	Regular	0.00	-30,345.72	159074
9824	STRYKER SALES LLC	06/02/2026	Regular	0.00	30,345.72	159074
11906	TENNANT SALES & SERVICE COMPANY	06/02/2026	Regular	0.00	590.69	159075
11906	TENNANT SALES & SERVICE COMPANY	06/02/2026	Regular	0.00	-590.69	159075
12744	T-MOBILE	06/02/2026	Regular	0.00	1,214.67	159076
12744	T-MOBILE	06/02/2026	Regular	0.00	-1,214.67	159076
6802	TOTAL ELECTRIC CONTRACTORS INC	06/02/2026	Regular	0.00	-508.50	159077
6802	TOTAL ELECTRIC CONTRACTORS INC	06/02/2026	Regular	0.00	508.50	159077
4137	UNIVERSITY OF KANSAS HOSPITAL AUTHORITY	06/02/2026	Regular	0.00	-8,994.00	159078
4137	UNIVERSITY OF KANSAS HOSPITAL AUTHORITY	06/02/2026	Regular	0.00	8,994.00	159078
12168	VESTA LEE LUMBER	06/02/2026	Regular	0.00	-60.00	159079
12168	VESTA LEE LUMBER	06/02/2026	Regular	0.00	60.00	159079
12683	W W GRAINGER INC	06/02/2026	Regular	0.00	-392.64	159080
12683	W W GRAINGER INC	06/02/2026	Regular	0.00	392.64	159080
7375	WATCHMEN SECURITY SERVICES LLC	06/02/2026	Regular	0.00	-215.81	159081
7375	WATCHMEN SECURITY SERVICES LLC	06/02/2026	Regular	0.00	215.81	159081
1321	WESTLAKE HARDWARE	06/02/2026	Regular	0.00	1,823.69	159082
1321	WESTLAKE HARDWARE	06/02/2026	Regular	0.00	-1,823.69	159082
	Void	06/02/2026	Regular	0.00	0.00	159083
11421	WEX INC	06/02/2026	Regular	0.00	-16,633.88	159084
11421	WEX INC	06/02/2026	Regular	0.00	16,633.88	159084
8411	WILSON & COMPANY INC ENGINEERS & ARCHIT	06/02/2026	Regular	0.00	-29,131.70	159085
8411	WILSON & COMPANY INC ENGINEERS & ARCHIT	06/02/2026	Regular	0.00	29,131.70	159085
6868	WYANDOTTE ECONOMIC DEVELOPMENT COUN	06/02/2026	Regular	0.00	10,000.00	159086
6868	WYANDOTTE ECONOMIC DEVELOPMENT COUN	06/02/2026	Regular	0.00	-10,000.00	159086
13151	ZIPCO CONTRACTING, INC	06/02/2026	Regular	0.00	-16,839.61	159087
13151	ZIPCO CONTRACTING, INC	06/02/2026	Regular	0.00	16,839.61	159087
10622	COMPASS GROUP USA INC	06/04/2026	Regular	0.00	221.25	159092
11987	COOL HEAT KC LLC	06/04/2026	Regular	0.00	2,440.00	159093
12689	CORE & MAIN LP	06/04/2026	Regular	0.00	942.11	159094
12127	DAYCO PAINTING INC	06/04/2026	Regular	0.00	69,500.00	159095
12684	DEFFENBAUGH INDUSTRIES INC	06/04/2026	Regular	0.00	7,344.69	159096

Check Report

Date Range: 06/02/2026 - 06/04/2026

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
13276	DELAWARE LLC	06/04/2026	Regular	0.00	345.00	159097
13268	DREAM COLLISION TONGANOXIE LLC	06/04/2026	Regular	0.00	2,971.02	159098
11417	EQUIPMENTSHARE.COM INC	06/04/2026	Regular	0.00	1,895.14	159099
10964	EVERGY FKA KCP&L	06/04/2026	Regular	0.00	448.41	159100
10942	EVERGY KANSAS CENTRAL INC FKA WESTAR ENI	06/04/2026	Regular	0.00	13,063.37	159101
4342	FELDMANS	06/04/2026	Regular	0.00	23.74	159102
2755	FTC EQUIPMENT LLC	06/04/2026	Regular	0.00	2,965.00	159103
7858	GALLS LLC	06/04/2026	Regular	0.00	2,683.09	159104
12997	GOVERNMENTJOBS.COM, INC	06/04/2026	Regular	0.00	2,750.00	159105
1942	GRASS PAD INC	06/04/2026	Regular	0.00	266.26	159106
1532	GT DISTRIBUTORS INC	06/04/2026	Regular	0.00	67.98	159107
12685	HACH COMPANY	06/04/2026	Regular	0.00	2,470.00	159108
4275	HAYNES EQUIPMENT CO INC	06/04/2026	Regular	0.00	1,235.06	159109
3078	HD SUPPLY INC	06/04/2026	Regular	0.00	1,319.55	159110
12771	HEATHER LANDON	06/04/2026	Regular	0.00	1,783.33	159111
7242	HELGET GAS PRODUCTS INC	06/04/2026	Regular	0.00	28.55	159112
12690	HOLLIDAY SAND AND GRAVEL CO	06/04/2026	Regular	0.00	3,742.47	159113
7269	INDELCO PLASTICS CORPORATION	06/04/2026	Regular	0.00	671.68	159114
6581	INLAND TRUCK PARTS CO	06/04/2026	Regular	0.00	1,456.05	159115
1021	JACKSON SERVICE CENTER INC	06/04/2026	Regular	0.00	266.20	159116
12354	JEFFREY COX	06/04/2026	Regular	0.00	2,695.00	159117
11940	JOHN DAMIAN JOHNSON	06/04/2026	Regular	0.00	2,021.89	159118
12949	KCJP	06/04/2026	Regular	0.00	5,286.37	159119
13271	KIM FEIST	06/04/2026	Regular	0.00	108.00	159120
12835	LEAF CAPITAL FUNDING LLC	06/04/2026	Regular	0.00	363.07	159121
8009	LIFE-ASSIST, INC	06/04/2026	Regular	0.00	576.55	159122
12881	LK POWER SYSTEMS LLC	06/04/2026	Regular	0.00	374.99	159123
1836	LOWE'S CREDIT SERVICES	06/04/2026	Regular	0.00	671.36	159124
9879	MAINSTREET CREDIT UNION	06/04/2026	Regular	0.00	885.00	159125
6137	METRO COURIER INC	06/04/2026	Regular	0.00	68.36	159126
13273	MICHAEL COLLINS	06/04/2026	Regular	0.00	270.00	159127
13270	MICHELLE EICKHOFF	06/04/2026	Regular	0.00	910.00	159128
5912	MID-AMERICA REGIONAL COUNCIL	06/04/2026	Regular	0.00	768.00	159129
8001	MIDWEST PUBLIC RISK	06/04/2026	Regular	0.00	565,120.00	159130
5116	MILLER SIGN SHOPPE LLC	06/04/2026	Regular	0.00	2,200.00	159131
13162	NEXT GENERATION RECREATION	06/04/2026	Regular	0.00	1,944.23	159132
12682	O'REILLY AUTOMOTIVE INC	06/04/2026	Regular	0.00	115.50	159133
3393	PACE ANALYTICAL SERVICES LLC	06/04/2026	Regular	0.00	517.00	159134
3618	PENNYS CONCRETE INC	06/04/2026	Regular	0.00	480.00	159135
11541	PEREGRINE CORPORATION	06/04/2026	Regular	0.00	663.60	159136
3531	PERRY AND TRENT LLC	06/04/2026	Regular	0.00	6,020.00	159137
6374	POLYDYNE INC	06/04/2026	Regular	0.00	3,114.00	159138
11644	PROGRESSIVE ELECTRONICS INC	06/04/2026	Regular	0.00	405.00	159139
12674	PUSHWATER ENTERPRISES INC	06/04/2026	Regular	0.00	853.50	159140
10030	QUALITY SPEAKS LLC	06/04/2026	Regular	0.00	92.03	159141
11889	RODINA COMPANY, INC	06/04/2026	Regular	0.00	22,283.00	159142
11773	RONALD TILDEN	06/04/2026	Regular	0.00	241.75	159143
13272	ROSE CASPER	06/04/2026	Regular	0.00	50.00	159144
12945	SBS SERVICES GROUP LLC	06/04/2026	Regular	0.00	1,120.00	159145
13193	SHINER HOLDING COMPANY, LLC	06/04/2026	Regular	0.00	4,500.00	159146
13160	STAPLES	06/04/2026	Regular	0.00	217.58	159147
12361	STEPHEN MEILLER	06/04/2026	Regular	0.00	1,046.99	159148
12883	Stock Enterprises, LLC	06/04/2026	Regular	0.00	1,729.82	159149
9824	STRYKER SALES LLC	06/04/2026	Regular	0.00	30,345.72	159150
11906	TENNANT SALES & SERVICE COMPANY	06/04/2026	Regular	0.00	590.69	159151
12744	T-MOBILE	06/04/2026	Regular	0.00	1,214.67	159152
6802	TOTAL ELECTRIC CONTRACTORS INC	06/04/2026	Regular	0.00	508.50	159153
4137	UNIVERSITY OF KANSAS HOSPITAL AUTHORITY	06/04/2026	Regular	0.00	8,994.00	159154
12168	VESTA LEE LUMBER	06/04/2026	Regular	0.00	60.00	159155
12683	W W GRAINGER INC	06/04/2026	Regular	0.00	392.64	159156
7375	WATCHMEN SECURITY SERVICES LLC	06/04/2026	Regular	0.00	215.81	159157

Check Report

Date Range: 06/02/2026 - 06/04/2026

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
1321	WESTLAKE HARDWARE	06/04/2026	Regular	0.00	1,823.69	159158
	Void	06/04/2026	Regular	0.00	0.00	159159
11421	WEX INC	06/04/2026	Regular	0.00	16,633.88	159160
8411	WILSON & COMPANY INC ENGINEERS & ARCHIT	06/04/2026	Regular	0.00	29,131.70	159161
6868	WYANDOTTE ECONOMIC DEVELOPMENT COUN	06/04/2026	Regular	0.00	10,000.00	159162
13151	ZIPCO CONTRACTING, INC	06/04/2026	Regular	0.00	16,839.61	159163

Bank Code AP BANK Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	326	170	0.00	1,810,259.88
Manual Checks	0	0	0.00	0.00
Voided Checks	0	73	0.00	-865,363.45
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	326	243	0.00	944,896.43

All Bank Codes Check Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	326	170	0.00	1,810,259.88
Manual Checks	0	0	0.00	0.00
Voided Checks	0	73	0.00	-865,363.45
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	326	243	0.00	944,896.43

Fund Summary

Fund	Name	Period	Amount
999	POOLED CASH	6/2026	944,896.43
			944,896.43



Bonner Springs, KS

Expense Approval Report

By Vendor Name

Vendor Name	Payable Number	Post Date	Description (Item)	Amount
Vendor: 6515 - 911 CUSTOM LLC				
911 CUSTOM LLC	62815	06/02/2026	2026 Ford PIU Emergency Equipment Upfitting	24,483.95
Vendor 6515 - 911 CUSTOM LLC Total:				24,483.95
Vendor: 11701 - ALL COPY PRODUCTS INC				
ALL COPY PRODUCTS INC	597306022	06/02/2026	Lease/Fees Period of Performance 5/15/26-6/14/26	704.98
Vendor 11701 - ALL COPY PRODUCTS INC Total:				704.98
Vendor: 13260 - ALLIED FENCE & SECURITY OF KANSAS CORP				
ALLIED FENCE & SECURITY OF ... 2-7239		06/02/2026	Replace 4 rollers on WWTP security gate	971.56
Vendor 13260 - ALLIED FENCE & SECURITY OF KANSAS CORP Total:				971.56
Vendor: 10078 - AMAZON CAPITAL SERVICES INC				
AMAZON CAPITAL SERVICES I...	11JG-N9CW-HY9N	06/02/2026	Phone case	40.87
AMAZON CAPITAL SERVICES I...	1CF7-VJ1J-XDTK	06/02/2026	Misc supplies - WWTP maint	74.79
AMAZON CAPITAL SERVICES I...	1DQG-3GMJ-VCG3	06/02/2026	Paper Towels	29.44
AMAZON CAPITAL SERVICES I...	1HWJ-M3TN-LRTF	06/02/2026	Misc office supplies - WTP	66.46
AMAZON CAPITAL SERVICES I...	1JXL-4HXH-Q9Q6	06/02/2026	Mop for gym	27.49
AMAZON CAPITAL SERVICES I...	1JXL-4HXH-Q9Q6	06/02/2026	Pool chem log	19.50
AMAZON CAPITAL SERVICES I...	1L3W-4CNH-3W91	06/02/2026	VSB security system mounting shelf	28.98
AMAZON CAPITAL SERVICES I...	1L7N-PXD6-CQ1D	06/02/2026	Piickleballs	8.94
AMAZON CAPITAL SERVICES I...	1L7N-PXD6-CQ1D	06/02/2026	Pool security monitor	79.99
AMAZON CAPITAL SERVICES I...	1LFT-4V4M-QKQV	06/02/2026	Paper Towels	29.44
AMAZON CAPITAL SERVICES I...	1MRJ-VGY4-PJTV	06/02/2026	Supplies for fleet first aid kits	119.93
AMAZON CAPITAL SERVICES I...	1MRJ-VGY4-PJTV	06/02/2026	Supplies for fleet first aid kits	13.00
AMAZON CAPITAL SERVICES I...	1MRJ-VGY4-PJTV	06/02/2026	Supplies for fleet first aid kits	119.92
AMAZON CAPITAL SERVICES I...	1P7H-9WV4-DK3F	06/02/2026	Paper Towels	58.88
AMAZON CAPITAL SERVICES I...	1PFM-M1NN-NRLT	06/02/2026	PW Fleet safety kit supplies	144.30
AMAZON CAPITAL SERVICES I...	1PFM-M1NN-NRLT	06/02/2026	PW Fleet safety kit supplies	15.19
AMAZON CAPITAL SERVICES I...	1PFM-M1NN-NRLT	06/02/2026	PW Fleet safety kit supplies	144.31
AMAZON CAPITAL SERVICES I...	1Q4Q-JLVT-7GG1	06/02/2026	Tennis equipment for tennis open house	157.69
AMAZON CAPITAL SERVICES I...	1QQV-LD4D-XR3H	06/02/2026	Portable cooler; first aid kit supplies	14.30
AMAZON CAPITAL SERVICES I...	1QQV-LD4D-XR3H	06/02/2026	Portable cooler; first aid kit supplies	14.30
AMAZON CAPITAL SERVICES I...	1QQV-LD4D-XR3H	06/02/2026	Portable cooler; first aid kit supplies	59.99
AMAZON CAPITAL SERVICES I...	1RHF-GR7Y-DKFL	06/02/2026	Staff first aid supplies for all PW fleet	170.85
AMAZON CAPITAL SERVICES I...	1RHF-GR7Y-DKFL	06/02/2026	Staff first aid supplies for all PW fleet	13.26
AMAZON CAPITAL SERVICES I...	1RHF-GR7Y-DKFL	06/02/2026	Staff first aid supplies for all PW fleet	170.86
AMAZON CAPITAL SERVICES I...	ITCH-RPLL-HJMX	06/02/2026	CAT6 cable for VSB; 2 dollys; misc supplies	18.04
AMAZON CAPITAL SERVICES I...	ITCH-RPLL-HJMX	06/02/2026	CAT6 cable for VSB; 2 dollys; misc supplies	34.98
AMAZON CAPITAL SERVICES I...	ITCH-RPLL-HJMX	06/02/2026	CAT6 cable for VSB; 2 dollys; misc supplies	138.50
AMAZON CAPITAL SERVICES I...	ITCH-RPLL-HJMX	06/02/2026	CAT6 cable for VSB; 2 dollys; misc supplies	306.23
Vendor 10078 - AMAZON CAPITAL SERVICES INC Total:				2,120.43

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Vendor Name	Payable Number	Post Date	Description (Item)	Amount
Vendor: 7169 - AMERICAN RED CROSS				
AMERICAN RED CROSS	23276747	06/02/2026	26 LG Certs	1,326.00
Vendor 7169 - AMERICAN RED CROSS Total:				1,326.00
Vendor: 12864 - ANGEL ARMOR LLC				
ANGEL ARMOR LLC	INV18646	06/02/2026	Tactical Vest Carrier for Allen	1,535.00
Vendor 12864 - ANGEL ARMOR LLC Total:				1,535.00
Vendor: 3303 - ASPHALT SALES CO INC				
ASPHALT SALES CO INC	162821	06/02/2026	Asphalt for LS#5 driveway access	2,446.76
Vendor 3303 - ASPHALT SALES CO INC Total:				2,446.76
Vendor: 5184 - AT&T MOBILITY				
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	45.92
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	45.92
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	45.92
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	421.66
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	92.66
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	190.63
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	228.19
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	546.34
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	45.92
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	45.92
AT&T MOBILITY	287288930469x05192026	06/02/2026	MOBILE PHONE SERVICE	41.74
Vendor 5184 - AT&T MOBILITY Total:				1,750.82
Vendor: 11698 - AT&T				
AT&T	3813995111	06/02/2026	FIBER OPTICS SERVICE	200.88
AT&T	3813995111	06/02/2026	FIBER OPTICS SERVICE	200.88
AT&T	3813995111	06/02/2026	FIBER OPTICS SERVICE	200.88
Vendor 11698 - AT&T Total:				602.64
Vendor: 5615 - AT&T				
AT&T	0790469593-0525-26	06/02/2026	SPECIAL CIRCUITS AND ALARMS	34.72
AT&T	0790469593-0525-26	06/02/2026	SPECIAL CIRCUITS AND ALARMS	134.00
AT&T	0790469593-0525-26	06/02/2026	SPECIAL CIRCUITS AND ALARMS	140.00
Vendor 5615 - AT&T Total:				308.72
Vendor: 2470 - ATMOS ENERGY				
ATMOS ENERGY	June 2026	06/02/2026	GAS SERVICE	173.20
ATMOS ENERGY	June 2026	06/02/2026	GAS SERVICE	255.46
ATMOS ENERGY	June 2026	06/02/2026	GAS SERVICE	13.52
Vendor 2470 - ATMOS ENERGY Total:				442.18
Vendor: 1461 - AUGUSTINE EXTERMINATORS INC				
AUGUSTINE EXTERMINATORS ...2550733		06/02/2026	Com Pest Qtrly	87.81
AUGUSTINE EXTERMINATORS ...2550735		06/02/2026	Com Pest Twice a Yar	300.00
Vendor 1461 - AUGUSTINE EXTERMINATORS INC Total:				387.81
Vendor: 12638 - BAILEY TRAINING AND SUPPORT LLC				
BAILEY TRAINING AND SUPPO... 58		06/02/2026	Safe Sitter Essentials w CPR-AED 5/27/26 7 Kids	490.00
Vendor 12638 - BAILEY TRAINING AND SUPPORT LLC Total:				490.00
Vendor: 12688 - BOARD OF PUBLIC UTILITIES				
BOARD OF PUBLIC UTILITIES	2357618-June	06/02/2026	Water bill PD - 4/11/26-5/11/2026	25.90
Vendor 12688 - BOARD OF PUBLIC UTILITIES Total:				25.90
Vendor: 4172 - BOUND TREE MEDICAL LLC				
BOUND TREE MEDICAL LLC	86180106	06/02/2026	Medical Supplies	530.91
Vendor 4172 - BOUND TREE MEDICAL LLC Total:				530.91

Expense Approval Report

Vendor Name	Payable Number	Post Date	Description (Item)	Amount
Vendor: 13178 - BRENNTAG SOUTHWEST INC				
BRENNTAG SOUTHWEST INC	BSW702143	06/02/2026	Chemicals for WTP	2,433.00
Vendor 13178 - BRENNTAG SOUTHWEST INC Total:				2,433.00
Vendor: 13250 - BRIDGE BROTHERS INC				
BRIDGE BROTHERS INC	2821	06/02/2026	Lions Park Pedestrian Bridges (2)	28,780.80
Vendor 13250 - BRIDGE BROTHERS INC Total:				28,780.80
Vendor: 0139 - BYERS GLASS & MIRROR INC				
BYERS GLASS & MIRROR INC	33080	06/02/2026	Repair Front Door	550.00
Vendor 0139 - BYERS GLASS & MIRROR INC Total:				550.00
Vendor: 13039 - CENTRAL JACKSON COUNTY FIRE PROTECTION DISTRICT				
CENTRAL JACKSON COUNTY FI...	TC26-099	06/02/2026	Paramedic School April 2026 Tuition- Miller	500.00
CENTRAL JACKSON COUNTY FI...	TC26-100	06/02/2026	Paramedic School April 2026 Tuition- Megee	500.00
CENTRAL JACKSON COUNTY FI...	TC26-114	06/02/2026	Paramedic School Tuition- May 2026 Miller	500.00
CENTRAL JACKSON COUNTY FI...	TC26-115	06/02/2026	Paramedic School Tuition- May 2026 Megee	500.00
Vendor 13039 - CENTRAL JACKSON COUNTY FIRE PROTECTION DISTRICT Total:				2,000.00
Vendor: 12834 - CHALLENGER TEAMWEAR LLC				
CHALLENGER TEAMWEAR LLC	1328916	06/02/2026	Summer ball uniforms, coaches shirts	2,972.50
CHALLENGER TEAMWEAR LLC	1328969	06/02/2026	Kickball champion shirts	100.00
CHALLENGER TEAMWEAR LLC	1329696	06/02/2026	Summer ball add ons	28.75
Vendor 12834 - CHALLENGER TEAMWEAR LLC Total:				3,101.25
Vendor: 11793 - CHARTER COMMUNICATIONS HOLDING LLC				
CHARTER COMMUNICATIONS...	1521467051426	06/02/2026	FD INTERNET SERVICE	265.36
Vendor 11793 - CHARTER COMMUNICATIONS HOLDING LLC Total:				265.36
Vendor: 2733 - CHRIS BRAKE				
CHRIS BRAKE	0006866	06/02/2026	Mileage - 01/14/2026- 04/21/2026	110.35
CHRIS BRAKE	0006866	06/02/2026	Mileage - 01/14/2026- 04/21/2026	101.50
Vendor 2733 - CHRIS BRAKE Total:				211.85
Vendor: 11655 - CINTAS CORPORATION NO 2				
CINTAS CORPORATION NO 2	OF58719312	06/02/2026	Alarm Inspection	766.32
Vendor 11655 - CINTAS CORPORATION NO 2 Total:				766.32
Vendor: 10027 - CINTAS				
CINTAS	42698622150	06/02/2026	Cleaning Services	246.12
CINTAS	4270019510	06/02/2026	Misc Supplies	287.42
CINTAS	4270665281	06/02/2026	Floor mats - WWTP	49.14
CINTAS	4270665323	06/02/2026	Floor mats - WTP	108.82
CINTAS	4270665325	06/02/2026	Floor mats - PW Main Bldg	73.41
Vendor 10027 - CINTAS Total:				764.91
Vendor: 11908 - CMRS-FP				
CMRS-FP	0006854	06/02/2026	POSTAGE FOR METER	800.00
Vendor 11908 - CMRS-FP Total:				800.00
Vendor: 7888 - COGENT INC				
COGENT INC	5664240	06/02/2026	Monthly PM of temp equip @ LS#2	445.00
Vendor 7888 - COGENT INC Total:				445.00
Vendor: 5560 - COMMERCIAL AQUATIC SERVICES INC				
COMMERCIAL AQUATIC SERVI...	57394-1	06/02/2026	Depth markers for pool	1,009.39
COMMERCIAL AQUATIC SERVI...	57485-1	06/02/2026	Vinyl depth markers for pool	277.44
Vendor 5560 - COMMERCIAL AQUATIC SERVICES INC Total:				1,286.83

Expense Approval Report

Vendor Name	Payable Number	Post Date	Description (Item)	Amount
Vendor: 10622 - COMPASS GROUP USA INC				
COMPASS GROUP USA INC	MCI44899	06/02/2026	Coffee supplies - PW Main Bldg	221.25
Vendor 10622 - COMPASS GROUP USA INC Total:				221.25
Vendor: 11987 - COOL HEAT KC LLC				
COOL HEAT KC LLC	7513	06/02/2026	Add Refrigerant	2,440.00
Vendor 11987 - COOL HEAT KC LLC Total:				2,440.00
Vendor: 12689 - CORE & MAIN LP				
CORE & MAIN LP	Z015219	06/02/2026	Dist Maint supplies	227.99
CORE & MAIN LP	Z084357	06/02/2026	Dist Maint parts	446.12
CORE & MAIN LP	Z109867	06/02/2026	200' PVC pipe for irrigation @ VSB	268.00
Vendor 12689 - CORE & MAIN LP Total:				942.11
Vendor: 12127 - DAYCO PAINTING INC				
DAYCO PAINTING INC	1192-26-1	06/02/2026	Pool Shell Painting	69,500.00
Vendor 12127 - DAYCO PAINTING INC Total:				69,500.00
Vendor: 12684 - DEFFENBAUGH INDUSTRIES INC				
DEFFENBAUGH INDUSTRIES I...	27178-4861-4	06/02/2026	Sludge disposal - 5/1/26 to 5/15/26	7,344.69
Vendor 12684 - DEFFENBAUGH INDUSTRIES INC Total:				7,344.69
Vendor: 13276 - DELAWARE LLC				
DELAWARE LLC	PCS1271478	06/02/2026	Dog Cremation (26-5731)	345.00
Vendor 13276 - DELAWARE LLC Total:				345.00
Vendor: 13268 - DREAM COLLISION TONGANOXIE LLC				
DREAM COLLISION TONGANO...	1772	06/02/2026	#2507 Hood Repair	2,971.02
Vendor 13268 - DREAM COLLISION TONGANOXIE LLC Total:				2,971.02
Vendor: 11417 - EQUIPMENTSHARE.COM INC				
EQUIPMENTSHARE.COM INC	6708082-000	06/02/2026	Replacement parts - VID #513 milling machine	1,109.57
EQUIPMENTSHARE.COM INC	KCM13-6527061-0002	06/02/2026	Scissor lift rental for VSB construction	785.57
Vendor 11417 - EQUIPMENTSHARE.COM INC Total:				1,895.14
Vendor: 10964 - EVERGY FKA KCP&L				
EVERGY FKA KCP&L	8816867433-June26	06/02/2026	LED STREET LIGHT ELECTRICAL SERVICE	448.41
Vendor 10964 - EVERGY FKA KCP&L Total:				448.41
Vendor: 10942 - EVERGY KANSAS CENTRAL INC FKA WESTAR ENERGY INC				
EVERGY KANSAS CENTRAL INC...	7472004486-Jun 2026	06/02/2026	STREETLIGHT ELECTRICAL SERVICE	13,063.37
Vendor 10942 - EVERGY KANSAS CENTRAL INC FKA WESTAR ENERGY INC Total:				13,063.37
Vendor: 4342 - FELDMANS				
FELDMANS	282128	06/02/2026	2 pair work pants - A.Holland	61.26
FELDMANS	327149	06/02/2026	Return 4 pairs work pants - D.Coll	-122.52
FELDMANS	327155	06/02/2026	2 pairs work pants - D.Coll	85.00
Vendor 4342 - FELDMANS Total:				23.74
Vendor: 2755 - FTC EQUIPMENT LLC				
FTC EQUIPMENT LLC	18909	06/02/2026	Slide Pump Fix	2,965.00
Vendor 2755 - FTC EQUIPMENT LLC Total:				2,965.00
Vendor: 7858 - GALLS LLC				
GALLS LLC	35049701	06/02/2026	S/S tees & cargo shorts	1,011.46
GALLS LLC	35067874	06/02/2026	Work shirts & cargo shorts	1,671.63
Vendor 7858 - GALLS LLC Total:				2,683.09
Vendor: 12997 - GOVERNMENTJOBS.COM, INC				
GOVERNMENTJOBS.COM, INC	INV159951	06/02/2026	Power Action Subscription	2,750.00
Vendor 12997 - GOVERNMENTJOBS.COM, INC Total:				2,750.00

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Vendor Name	Payable Number	Post Date	Description (Item)	Amount
Vendor: 1942 - GRASS PAD INC				
GRASS PAD INC	545425	06/02/2026	Flowers - Oak St planters	45.90
GRASS PAD INC	545450	06/02/2026	Flowers - KS Ave planters	37.90
GRASS PAD INC	545451	06/02/2026	Flowers - Comm Center & KS Ave planters	182.46
Vendor 1942 - GRASS PAD INC Total:				266.26
Vendor: 1532 - GT DISTRIBUTORS INC				
GT DISTRIBUTORS INC	DPT000362719	06/02/2026	Hatch Dura- Thin Police Search Gloves	33.99
GT DISTRIBUTORS INC	INV1087168	06/02/2026	Police Gloves	33.99
Vendor 1532 - GT DISTRIBUTORS INC Total:				67.98
Vendor: 12685 - HACH COMPANY				
HACH COMPANY	15013904	06/02/2026	Annual WWTP lab equip service agreement	2,470.00
Vendor 12685 - HACH COMPANY Total:				2,470.00
Vendor: 4275 - HAYNES EQUIPMENT CO INC				
HAYNES EQUIPMENT CO INC	31744E	06/02/2026	Repair GP @ 525 MacGrantwood	1,235.06
Vendor 4275 - HAYNES EQUIPMENT CO INC Total:				1,235.06
Vendor: 3078 - HD SUPPLY INC				
HD SUPPLY INC	INV01051063	06/02/2026	Lab supplies - WWTP	114.07
HD SUPPLY INC	INV01051066	06/02/2026	Lab supplies - WWTP	362.92
HD SUPPLY INC	INV01055893	06/02/2026	Lab supplies - WTP	842.56
Vendor 3078 - HD SUPPLY INC Total:				1,319.55
Vendor: 12771 - HEATHER LANDON				
HEATHER LANDON	0006855	06/02/2026	MUNICIPAL COURT JUDGE SERVICES	1,783.33
Vendor 12771 - HEATHER LANDON Total:				1,783.33
Vendor: 7242 - HELGET GAS PRODUCTS INC				
HELGET GAS PRODUCTS INC	3149622	06/02/2026	Compressed Oxygen	28.55
Vendor 7242 - HELGET GAS PRODUCTS INC Total:				28.55
Vendor: 12690 - HOLLIDAY SAND AND GRAVEL CO				
HOLLIDAY SAND AND GRAVEL...	1500883875	06/02/2026	AB-3 for VSB Project	579.62
HOLLIDAY SAND AND GRAVEL...	1500884588	06/02/2026	Rock for street maintenance	405.62
HOLLIDAY SAND AND GRAVEL...	1500885189	06/02/2026	Rock for street maintenance	682.39
HOLLIDAY SAND AND GRAVEL...	1500885685	06/02/2026	Rock for erosion control @ LS #5	1,581.51
HOLLIDAY SAND AND GRAVEL...	1500887453	06/02/2026	Rock for erosion control - LS #5	493.33
Vendor 12690 - HOLLIDAY SAND AND GRAVEL CO Total:				3,742.47
Vendor: 7269 - INDELCO PLASTICS CORPORATION				
INDELCO PLASTICS CORPORAT...	INV0612043	06/02/2026	500' parflex tubing - WTP maint	671.68
Vendor 7269 - INDELCO PLASTICS CORPORATION Total:				671.68
Vendor: 6581 - INLAND TRUCK PARTS CO				
INLAND TRUCK PARTS CO	IN-1996656	06/02/2026	Replace fuel filter housing regulator - VID #553	1,456.05
Vendor 6581 - INLAND TRUCK PARTS CO Total:				1,456.05
Vendor: 1021 - JACKSON SERVICE CENTER INC				
JACKSON SERVICE CENTER INC	209566	06/02/2026	Propane for PW Shop powerwasher	266.20
Vendor 1021 - JACKSON SERVICE CENTER INC Total:				266.20
Vendor: 12354 - JEFFREY COX				
JEFFREY COX	2605	06/02/2026	Training Hours May 2026	2,695.00
Vendor 12354 - JEFFREY COX Total:				2,695.00

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Vendor Name	Payable Number	Post Date	Description (Item)	Amount
Vendor: 11940 - JOHN DAMIAN JOHNSON				
JOHN DAMIAN JOHNSON	DCJB2026	06/02/2026	City Band Director Pymt 1 of 2 Contract	2,021.89
Vendor 11940 - JOHN DAMIAN JOHNSON Total:				2,021.89
Vendor: 12949 - KCJP				
KCJP	INV341077	06/02/2026	Cleaninng Services CH -June 2026	1,870.00
KCJP	INV341079	06/02/2026	Janitorial Service - CC June 2026	1,480.00
KCJP	INV341083	06/02/2026	Regular Cleaning Services	1,195.00
KCJP	INV344508	06/02/2026	Late billing for South Park 4-19-26	125.00
KCJP	INV344661	06/02/2026	Late filling for South Park 4-11-26	125.00
KCJP	SI6999	06/02/2026	Janitorial supplies for WTP	278.94
KCJP	SI7000	06/02/2026	Janitorial supplies for PW Main Bldg	70.81
KCJP	SI7001	06/02/2026	Trash bags - CC Delivered 5/19/26	70.81
KCJP	SI7002	06/02/2026	City Hall Custodial Supplies	70.81
Vendor 12949 - KCJP Total:				5,286.37
Vendor: 13271 - KIM FEIST				
KIM FEIST	105507097	06/02/2026	Swim Lessons Refund	118.00
KIM FEIST	105507097	06/02/2026	Processing Fee	-10.00
Vendor 13271 - KIM FEIST Total:				108.00
Vendor: 12835 - LEAF CAPITAL FUNDING LLC				
LEAF CAPITAL FUNDING LLC	20291411	06/02/2026	Ascent Water Unit- FD due 6/10	80.00
LEAF CAPITAL FUNDING LLC	20340076	06/02/2026	Kyocera Copiers - FD due 6/17/26	283.07
Vendor 12835 - LEAF CAPITAL FUNDING LLC Total:				363.07
Vendor: 8009 - LIFE-ASSIST, INC				
LIFE-ASSIST, INC	2124296	06/02/2026	Medical Supplies	178.95
LIFE-ASSIST, INC	2124502	06/02/2026	Medical Supplies	397.60
Vendor 8009 - LIFE-ASSIST, INC Total:				576.55
Vendor: 12881 - LK POWER SYSTEMS LLC				
LK POWER SYSTEMS LLC	20260005	06/02/2026	Generator check and service	374.99
Vendor 12881 - LK POWER SYSTEMS LLC Total:				374.99
Vendor: 1836 - LOWE'S CREDIT SERVICES				
LOWE'S CREDIT SERVICES	71872	06/02/2026	Quikcrete for pool repair; garage door remote J.A.	31.33
LOWE'S CREDIT SERVICES	71872	06/02/2026	Quikcrete for pool repair; garage door remote J.A.	20.88
LOWE'S CREDIT SERVICES	83086	06/02/2026	Thermostats & supplies for heaters - VSB	299.24
LOWE'S CREDIT SERVICES	91311	06/02/2026	Light bulbs; sealer for grates - Aquatic Park	171.89
LOWE'S CREDIT SERVICES	95213	06/02/2026	Flue pipe for Hotsy powerwasher - VSB	132.66
LOWE'S CREDIT SERVICES	96031	06/02/2026	3/4' heavy duty stop valve for pressure tester	14.23
LOWE'S CREDIT SERVICES	97358	06/02/2026	Return unused vent pipe supplies - VSB	-219.89
LOWE'S CREDIT SERVICES	97474	06/02/2026	Anchors for handicap chair; rodent traps PW Shop	23.60
LOWE'S CREDIT SERVICES	97474	06/02/2026	Anchors for handicap chair; rodent traps PW Shop	29.35
LOWE'S CREDIT SERVICES	97961	06/02/2026	Hardware to install handicap chair @ pool	168.07
Vendor 1836 - LOWE'S CREDIT SERVICES Total:				671.36

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Vendor Name	Payable Number	Post Date	Description (Item)	Amount
Vendor: 9879 - MAINSTREET CREDIT UNION				
MAINSTREET CREDIT UNION	06-05-2026	06/02/2026	Payroll for 06/05/2026	885.00
Vendor 9879 - MAINSTREET CREDIT UNION Total:				885.00
Vendor: 6137 - METRO COURIER INC				
METRO COURIER INC	84913	06/02/2026	WWTP sampling to KDHE 5/7/26 & 5/13/26	68.36
Vendor 6137 - METRO COURIER INC Total:				68.36
Vendor: 13273 - MICHAEL COLLINS				
MICHAEL COLLINS	133022	06/02/2026	Restitution - Michael Collins	270.00
Vendor 13273 - MICHAEL COLLINS Total:				270.00
Vendor: 13270 - MICHELLE EICKHOFF				
MICHELLE EICKHOFF	25-E1692983	06/02/2026	Refund Overpaymnet 25- E1692983	910.00
Vendor 13270 - MICHELLE EICKHOFF Total:				910.00
Vendor: 5912 - MID-AMERICA REGIONAL COUNCIL				
MID-AMERICA REGIONAL CO...	5037	06/02/2026	Emer Svcs Local Funds- MARCER	350.00
MID-AMERICA REGIONAL CO...	5037	06/02/2026	Emer Svcs Local Funds RHSCC-	418.00
Vendor 5912 - MID-AMERICA REGIONAL COUNCIL Total:				768.00
Vendor: 8001 - MIDWEST PUBLIC RISK				
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	2,070.00
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	14,084.48
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	175.43
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	174.00
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	4,199.58
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	1,378.20
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	5,015.50
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	4,471.08
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	20,059.66
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	2,373.70
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	3,371.08
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	28,147.40
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	6,932.31
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	4,445.65
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	4,445.65
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	713.80
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	801.90
MIDWEST PUBLIC RISK	June 2026	06/02/2026	June HEALTH, DENTAL & VISION INSURANCE	1,588.58
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	8,346.00
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	37,425.07
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	3,010.13

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Vendor Name	Payable Number	Post Date	Description (Item)	Amount
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	13,312.00
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	9,776.68
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	97,097.56
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	2,570.00
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	16,455.30
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	65,883.94
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	51,584.24
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	45,314.38
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	84,423.37
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	521.38
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	15,225.86
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	7,363.26
MIDWEST PUBLIC RISK	PL20260515.63	06/02/2026	Property & Liability Insurance 7/1/2026-6/30/2027	2,362.83
Vendor 8001 - MIDWEST PUBLIC RISK Total:				565,120.00
Vendor: 5116 - MILLER SIGN SHOPPE LLC				
MILLER SIGN SHOPPE LLC	31727	06/02/2026	City Sign Repair and Replacements	2,200.00
Vendor 5116 - MILLER SIGN SHOPPE LLC Total:				2,200.00
Vendor: 13162 - NEXT GENERATION RECREATION				
NEXT GENERATION RECREATI...	2392	06/02/2026	Replace Lions Park front playground slide	1,944.23
Vendor 13162 - NEXT GENERATION RECREATION Total:				1,944.23
Vendor: 12682 - O'REILLY AUTOMOTIVE INC				
O'REILLY AUTOMOTIVE INC	0264-444837	06/02/2026	Anti freeze for trucks	32.97
O'REILLY AUTOMOTIVE INC	0264-466941	06/02/2026	Seafoam for small engine	29.98
O'REILLY AUTOMOTIVE INC	0264-468522	06/02/2026	Replaced bulbs on Engine 22	30.56
O'REILLY AUTOMOTIVE INC	0264-469297	06/02/2026	Shade	21.99
Vendor 12682 - O'REILLY AUTOMOTIVE INC Total:				115.50
Vendor: 3393 - PACE ANALYTICAL SERVICES LLC				
PACE ANALYTICAL SERVICES L...	2660247328	06/02/2026	WWTP monthly sampling	517.00
Vendor 3393 - PACE ANALYTICAL SERVICES LLC Total:				517.00
Vendor: 3618 - PENNYS CONCRETE INC				
PENNYS CONCRETE INC	771062	06/02/2026	6 concrete blocks - LS #5 erosion control	240.00
PENNYS CONCRETE INC	771255	06/02/2026	6 concrete blocks - LS #5 erosion control	240.00
Vendor 3618 - PENNYS CONCRETE INC Total:				480.00
Vendor: 11541 - PEREGRINE CORPORATION				
PEREGRINE CORPORATION	0089338	06/02/2026	Sect 4 May Util Bills (919/889)	663.60
Vendor 11541 - PEREGRINE CORPORATION Total:				663.60
Vendor: 3531 - PERRY AND TRENT LLC				
PERRY AND TRENT LLC	6063	06/02/2026	Municipal Court Prosecutor Services 4/1/2026-4/30/	6,020.00
Vendor 3531 - PERRY AND TRENT LLC Total:				6,020.00
Vendor: 6374 - POLYDYNE INC				
POLYDYNE INC	2029645	06/02/2026	Chemicals for WWTP	3,114.00
Vendor 6374 - POLYDYNE INC Total:				3,114.00

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Vendor Name	Payable Number	Post Date	Description (Item)	Amount
Vendor: 11644 - PROGRESSIVE ELECTRONICS INC				
PROGRESSIVE ELECTRONICS I...	169821	06/02/2026	Service on Mics in Court Room	405.00
Vendor 11644 - PROGRESSIVE ELECTRONICS INC Total:				405.00
Vendor: 12674 - PUSHWATER ENTERPRISES INC				
PUSHWATER ENTERPRISES INC	23424	06/02/2026	New Rack Cards Tourism (Summer 2026 cal of events)	474.00
PUSHWATER ENTERPRISES INC	23467	06/02/2026	Printed attractions map for tourism	379.50
Vendor 12674 - PUSHWATER ENTERPRISES INC Total:				853.50
Vendor: 10030 - QUALITY SPEAKS LLC				
QUALITY SPEAKS LLC	7807414	06/02/2026	Telephone- PD 5/27/26- 6/27/26	92.03
Vendor 10030 - QUALITY SPEAKS LLC Total:				92.03
Vendor: 11889 - RODINA COMPANY, INC				
RODINA COMPANY, INC	18710	06/02/2026	Gas Service for new Vehicle Storage Building	12,233.00
RODINA COMPANY, INC	18710b	06/02/2026	Install interior gas lines for VSB REQ00541 bal	709.00
RODINA COMPANY, INC	18710-c	06/02/2026	REQ00541-R - Interior Gas Lines VSB	9,341.00
Vendor 11889 - RODINA COMPANY, INC Total:				22,283.00
Vendor: 11773 - RONALD TILDEN				
RONALD TILDEN	120659	06/02/2026	#73 Oil change, tire rotation	89.90
RONALD TILDEN	120773	06/02/2026	Oil Change - Ford Expedition	61.95
RONALD TILDEN	120781	06/02/2026	#65 Oil change, tire rotation	89.90
Vendor 11773 - RONALD TILDEN Total:				241.75
Vendor: 13272 - ROSE CASPER				
ROSE CASPER	25-E1123847	06/02/2026	Refund - Overpayment	50.00
Vendor 13272 - ROSE CASPER Total:				50.00
Vendor: 12945 - SBS SERVICES GROUP LLC				
SBS SERVICES GROUP LLC	8629220	06/02/2026	June 2026 - Lions Park janitorial service	1,120.00
Vendor 12945 - SBS SERVICES GROUP LLC Total:				1,120.00
Vendor: 13193 - SHINER HOLDING COMPANY, LLC				
SHINER HOLDING COMPANY, ...	1001	06/02/2026	Facade Grant Improvement 2026 Award	4,500.00
Vendor 13193 - SHINER HOLDING COMPANY, LLC Total:				4,500.00
Vendor: 13160 - STAPLES				
STAPLES	6063839388	06/02/2026	Tri-Color Ink Cartridges	112.24
STAPLES	6063928139	06/02/2026	Envelopes 10 X 13	17.36
STAPLES	6064214811	06/02/2026	Copy Paper	87.98
Vendor 13160 - STAPLES Total:				217.58
Vendor: 12361 - STEPHEN MEILLER				
STEPHEN MEILLER	SMCB2026	06/02/2026	City Band Director Payment 1/2 Contract	1,046.99
Vendor 12361 - STEPHEN MEILLER Total:				1,046.99
Vendor: 12883 - Stock Enterprises, LLC				
Stock Enterprises, LLC	INV-55477	06/02/2026	Repair Damaged Grappler	1,729.82
Vendor 12883 - Stock Enterprises, LLC Total:				1,729.82
Vendor: 9824 - STRYKER SALES LLC				
STRYKER SALES LLC	9212355637	06/02/2026	Patient Simulator ECG Lead	782.73
STRYKER SALES LLC	9212367804	06/02/2026	AED's for USD 204	29,562.99
Vendor 9824 - STRYKER SALES LLC Total:				30,345.72
Vendor: 11906 - TENNANT SALES & SERVICE COMPANY				
TENNANT SALES & SERVICE C...	1431625	06/02/2026	Labor, shop supplies, site visit	590.69
Vendor 11906 - TENNANT SALES & SERVICE COMPANY Total:				590.69

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Vendor Name	Payable Number	Post Date	Description (Item)	Amount
Vendor: 12744 - T-MOBILE				
T-MOBILE	201314314	06/02/2026	Cellular - PD	642.53
T-MOBILE	201731959-June	06/02/2026	Data 04/21/26-05/20/26	572.14
Vendor 12744 - T-MOBILE Total:				1,214.67
Vendor: 6802 - TOTAL ELECTRIC CONTRACTORS INC				
TOTAL ELECTRIC CONTRACTO...	260156	06/02/2026	Verify power availability @ 5 traffic signal poles	508.50
Vendor 6802 - TOTAL ELECTRIC CONTRACTORS INC Total:				508.50
Vendor: 4137 - UNIVERSITY OF KANSAS HOSPITAL AUTHORITY				
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs Sam Acosta	820.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs -Braden Korgol	820.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs - Ben Winslow	835.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs - Tyler Biggs	830.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs -, Travis Hubbel	830.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs - Nathan Snapp	830.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs - Sam Lightner	830.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Late Fee	1.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs - Lisa Lister	728.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs - Braedyn Grassie	820.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs - Jason Webb II	830.00
UNIVERSITY OF KANSAS HOSP...	79650088	06/02/2026	Misc Svcs - Tristin Eddy	820.00
Vendor 4137 - UNIVERSITY OF KANSAS HOSPITAL AUTHORITY Total:				8,994.00
Vendor: 12168 - VESTA LEE LUMBER				
VESTA LEE LUMBER	178917	06/02/2026	Lumber for truckbed rails - VID #534	60.00
Vendor 12168 - VESTA LEE LUMBER Total:				60.00
Vendor: 12683 - W W GRAINGER INC				
W W GRAINGER INC	9917381056	06/02/2026	6 - pressure gauges - Dis...	392.64
Vendor 12683 - W W GRAINGER INC Total:				392.64
Vendor: 7375 - WATCHMEN SECURITY SERVICES LLC				
WATCHMEN SECURITY SERVIC...	110812	06/02/2026	Monthly Monitoring- CC June	149.57
WATCHMEN SECURITY SERVIC...	111010	06/02/2026	Montly monitoring- Aquatic Park - June	66.24
Vendor 7375 - WATCHMEN SECURITY SERVICES LLC Total:				215.81
Vendor: 1321 - WESTLAKE HARDWARE				
WESTLAKE HARDWARE	14009209	06/02/2026	Misc hardware - WTP bisulfate line	20.17
WESTLAKE HARDWARE	14009218	06/02/2026	Pest control supplies - PW Main Bldg	73.33
WESTLAKE HARDWARE	14009224	06/02/2026	Sawzall blades; hardware for mower - VID #544	54.54
WESTLAKE HARDWARE	14009226	06/02/2026	Wood cleaner & hardware for Cent Park Gazebo	66.97
WESTLAKE HARDWARE	14009229	06/02/2026	Hardware, rustoleum paint - WWTP new belt press	57.91
WESTLAKE HARDWARE	14009230	06/02/2026	Portable power bank - VID #520	59.99
WESTLAKE HARDWARE	14009235	06/02/2026	Pool repair supplies	42.97
WESTLAKE HARDWARE	14009236	06/02/2026	Tools & hardware - bolting down WWTP belt press	131.76
WESTLAKE HARDWARE	14009236	06/02/2026	Tools & hardware - bolting down WWTP belt press	298.99
WESTLAKE HARDWARE	14009237	06/02/2026	Paint brush & stain - VID #534 sideboards	64.98
WESTLAKE HARDWARE	14009241	06/02/2026	Hardware to mount new auger on risers @ WWTP	24.43
WESTLAKE HARDWARE	14009244	06/02/2026	Spacers to level press & auger - WWTP	65.61
WESTLAKE HARDWARE	14009250	06/02/2026	Clamlite plug 2 wire	3.99
WESTLAKE HARDWARE	14009255	06/02/2026	Misc Supplies	75.56

Expense Approval Report

Vendor Name	Payable Number	Post Date	Description (Item)	Amount
WESTLAKE HARDWARE	14009257	06/02/2026	Metric socket set - WWTP	209.99
WESTLAKE HARDWARE	14009258	06/02/2026	Insulation wrap for hot water tank - WWTP	59.99
WESTLAKE HARDWARE	14009259	06/02/2026	Drill & fasteners	25.01
WESTLAKE HARDWARE	14009262	06/02/2026	Misc hardware & supplies - hot water tank install	77.54
WESTLAKE HARDWARE	14009263	06/02/2026	Misc hardware - hot water tank install @ WWTP	33.98
WESTLAKE HARDWARE	14009272	06/02/2026	Plug for VSB roof drain	15.99
WESTLAKE HARDWARE	14009279	06/02/2026	Pressure washer for WWTP	359.99
Vendor 1321 - WESTLAKE HARDWARE Total:				1,823.69
Vendor: 11421 - WEX INC				
WEX INC	112932065	06/02/2026	FUEL-Janurary 2026	123.09
WEX INC	112932065	06/02/2026	FUEL-Janurary 2026	2,423.56
WEX INC	112932065	06/02/2026	FUEL-Janurary 2026	84.83
WEX INC	112932065	06/02/2026	FUEL-Janurary 2026	9,991.97
WEX INC	112932065	06/02/2026	FUEL-Janurary 2026	1,798.12
WEX INC	112932065	06/02/2026	FUEL-Janurary 2026	294.42
WEX INC	112932065	06/02/2026	FUEL-Janurary 2026	1,152.73
WEX INC	112932065	06/02/2026	FUEL-Janurary 2026	765.16
Vendor 11421 - WEX INC Total:				16,633.88
Vendor: 8411 - WILSON & COMPANY INC ENGINEERS & ARCHITECTS				
WILSON & COMPANY INC ENG...150555		06/02/2026	Project Management Services for 138th St. Project	29,131.70
Vendor 8411 - WILSON & COMPANY INC ENGINEERS & ARCHITECTS Total:				29,131.70
Vendor: 6868 - WYANDOTTE ECONOMIC DEVELOPMENT COUNCIL				
WYANDOTTE ECONOMIC DEV... 4262		06/02/2026	2026 Investment / ED Services	10,000.00
Vendor 6868 - WYANDOTTE ECONOMIC DEVELOPMENT COUNCIL Total:				10,000.00
Vendor: 13151 - ZIPCO CONTRACTING, INC				
ZIPCO CONTRACTING, INC	R26-028	06/02/2026	Interior Repairs from Lightning Strike	16,839.61
Vendor 13151 - ZIPCO CONTRACTING, INC Total:				16,839.61
Grand Total:				944,896.43



Bonner Springs, KS

Refund Check Register

Refund Check Detail

UBPKT03261 - 05-28-2026 HT Security Deposit Refunds May 2026

Account	Name	Date	Check #	Amount	Code	Receipt	Amount	Type
	VOID CHECK		159088	0.00				
	VOID CHECK		159089	0.00				
	VOID CHECK		159090	0.00				
	VOID CHECK		159091	0.00				
02-08970-18	Dissmeyer, Ruth Ann	6/4/2026	159164	5.57			5.57	Generated From Billing
05-12959-04	New Venture I LLC	6/4/2026	159165	271.85			271.85	Generated From Billing
05-13005-02	New Venture I LLC	6/4/2026	159166	127.37			127.37	Generated From Billing
05-13617-07	V.F Anderson	6/4/2026	159167	941.81			941.81	Generated From Billing
Total Refunds: 8			Total Refunded Amount:	1,346.60				

Revenue Code Summary

Revenue Code	Amount
996 - UNAPPLIED CREDITS	1346.60
Revenue Total:	1346.60

General Ledger Distribution

Posting Date: 06/04/2026

Account Number	Account Name	Posting Amount	IFT
Fund: 430 - Water Treat & Distribu			
430-000-000-011999	Claim On Cash	-1,346.60	Yes
430-000-000-021205	Unapplied Utility Credits	1,346.60	
430 Total:		0.00	
Fund: 999 - POOLED CASH			
999-000-000-011100	Cash In Bank	-1,346.60	
999-000-000-021500	Due To Other Funds	1,346.60	Yes
999 Total:		0.00	
Distribution Total:		0.00	

Memorandum

Date: June 8, 2026
To: Mayor and City Council
From: Christina Brake

Subject: Public Use Request - UBT Customer Appreciation Event

Recommendation: Staff recommends approval.

Action: Make a motion to approve the Public Use Request for the UBT Customer Appreciation Event.

Background: UBT submitted the included public use request for their Customer Appreciation Event on Friday, July 17, 2026, from 10:00 a.m. - 3:00 p.m. The event includes the closure of their privately-owned parking lot, not a city-owned parking lot. However, they are requesting the Fire department provide water for a dunk tank. The dunk tank will be used to raise funds for the Bonner Springs Edwardsville Education Foundation.

Discussion:

Financial Impact:



Use of Parks, Streets, or Parking Lot for Amusement Application

Fee \$50.00 (Non-Alcohol)

Fee \$250.00 (Alcohol on Premises)

*Not-for-profit organizations or individuals exempt from fees. (Attach certification form or 501c status)

Date: 5/28/2026

Application must be submitted to the City Clerk at least thirty (30) days prior to the event, to allow for complete review of the request.

APPLICANT INFORMATION:

Name of Requested Event: UBT Customer Appreciation Event

Date of Requested Event: Friday, July 17, 2026

Time of Requested Event: 10:00 a.m. - 3:00 p.m.

Applicant Name: Paul Barrett

Business or Organization: UBT

Street Address/Mailing Address: 309 Oak St. City/State/Zip: Bonner Springs, KS 66012

Phone: [REDACTED] Email: paul.barrett@ubt.com

Is the event to raise funds for charitable purposes: Yes No If yes, what Charitable Purpose? Dunk tank to raise funds for Bonner Springs Edwardsville Education Foundation

Submission of the application is acknowledgement that the applicant will be responsible for all public property used and adjacent areas, to be cleaned immediately after the event.

Submission of the application is acknowledgement that the applicant will notify all affected property owners and tenants.

Organization Status Proof attached (required to be exempt from fees)

Certificate of insurance that names the city as an additional insured attached.

LOCATION:

Parking Lot(s) to be used: Privately-owned parking lot on 3rd Street and Cedar.

EVENT INFORMATION:

Police, Fire, EMS or Other Municipal Services Needed: Yes No
If yes, what services _____

Tent will be Used: Yes No (Tent permit form required, if applicable)

Provide full, detailed explanation of purpose of event; include if admissions or space rental will be charged:

- Clear map of the parking lot area, or street route to be used is attached
(Events with alcohol or cereal malt beverages must be at least 30 feet from Centennial Park).
- List of vendors that will participate in event attached.
- List of planned activities attached
- Background check forms for security personnel for police chief approval attached.

APPLICATION REQUIREMENTS AND RESTRICTIONS:

Application Requirements:

- A. Submit this application and all required forms and information to the City Clerk’s Office at least 30 days prior to the date of the event for City Council approval, but no more than one year in advance.
- B. Not-for-profit organizations, association or individuals must provide proof of their non-profit status. A not-for-profit certificate of good standing from the Kansas Secretary of State is an acceptable proof for purposes of this subsection.
- C. Unincorporated associations, organizations or individuals not registered with the Kansas Secretary of State must provide certification of their not-for-profit status.
- D. All applicants must have or obtain all applicable business licenses and ensure vendors that participate in the event have or obtain an occupational license from the City.

Restrictions:

- A. Unless otherwise allowed by ordinance, no more than four special event permits will be issued per calendar year to any individual, business, association, or organization for the use of a public parking lot.
- B. Any event or activity that a for-profit individual, business, association or organization co-sponsors, promotes or participates in any way with any not-for-profit qualified individual, business, association or organization as defined in Section 12-703, paragraph J or K of this ordinance, will count as an event for the for-profit entity.
- C. Unless otherwise allowed by ordinance, no permit will be issued for more than three consecutive days, except for the carnival for Tiblow Days.
- D. No permit will be issued which conflicts with the Annual Chamber of Commerce Tiblow Days, or any other city approved celebration.
- E. Approved event shall not take place between the hours of 12 a.m. midnight and 6 a.m. of any day.
- F. No permit will be issued in conflict with any other approved event, Zoning Ordinance, City Ordinance, policy, or regulation.
- G. Sale, possession and/or consumption of alcoholic beverages or cereal malt beverages may require separate permits per Chapter III Beverages, of this Code. Applications for these permits shall be submitted at the same time as the permit required in this Article.

Display of Permit: A permit issued shall prominently display the permit at the special event site or have the permit available to display to any officer or employee of the City upon demand.

Revocation of Permit: The City Manager or designee may suspend or revoke a permit issued; if the permittee fails to meet the conditions of the issuance of the permit, violates any provision of this Code or other ordinance of the City governing the activities permitted by the permit, or if the permit was obtained by fraud or misrepresentation.

Hazard Prohibited: No person shall make any use of the public parking lot that constitutes an immediate hazard requiring immediate action to protect the public.

Penalty: Any person who violates the requirements of Ordinance No. 2445, upon conviction, shall be fined not less than \$20 nor more than \$500 or be imprisoned for not more than thirty (30) days, or be both so fined and imprisoned. Each day that a person violates the requirements of this Article shall constitute a separate offense.

Public Parking Lot Use Special Event Application Parks, Street, or Public Parking Lot Diagram

Draw in the diagram below (or attach a separate sheet) the area to be used for the requested event.
Draw in area for access that will be available for emergency access.



Email Copy to: Police Department, Fire-EMS Department, Public Works Department

F:\PUBLIC\WORD\Licenses & Permits Forms Ltrs\Private Use of Public Parking Lot Application.docx Revised February 2024

I hereby confirm by signing this application that I understand the regulations and will comply with all regulations and ordinances of the City of Bonner Springs, as outlined above.

[Redacted Signature]

Signature of Applicant

6-4-26

Date of application

<u>Receipt</u>
Transaction Code: MS Product Code: LL

Memorandum

Date: June 8, 2026
To: Mayor and City Council
From: Justine Spease

Subject: Baseball Field Lighting Change Order #2

Recommendation: Staff recommends approval.

Action: Make a motion to approve Change Order No. 2 for Third Generation Electrical Inc. in the amount of \$12,563.

Background: The current wiring for the scoreboards are overhead.

Discussion: This change order is for the approval to move the existing scoreboard wiring on all three fields to underground. Field 2 & 3's wires connect to an old wooden pole. The moving of all the scoreboard wires to underground will allow the wooden pole to be removed.

Financial Impact:

The Ballfield Lighting Project is included in the Capital Improvement Reserve Fund. There is \$8,268 remaining in this project's budget. Staff is proposing that the remaining \$4,295 be utilized from the Lions Park Ball Field 1 Shade Structures project, which has a budget of \$105,000. An additional \$105,000 was approved for the Shade Structures project in 2027.



Third Generation Electric

8620 South 33rd West Avenue
Tulsa, OK 74132
918-446-6626

PROPOSAL

Date: 5/21/2026

To: City of Bonner Springs

Re: Lions Park Scoreboard Circuits

SCOPE OF WORK

- 1] Provide and install underground conduit and wire to refeed the score boards on Fields 1, 2, 3, and pavilion from the new service panel installed at Field 3.
- 2] Relocate irrigation controllers at field 2 and 3 off wood pole to a new post and refeed with new underground circuit from service panel.

Total Quote \$12,563.00

NOTES & EXCLUSIONS

- 1] Bonding (1%)

This proposal may be withdrawn by Third Generation Electric if not accepted within 30 days.

ACCEPTANCE

The above prices, specifications and conditions are satisfactory and are hereby accepted. Payment will be made as outlined above.

Signature and Title

Date of Acceptance

Jared Williams
 Third Generation Electric
 918-446-6626 office
 918-260-4647 mobile
 jared@tgetulsa.com
[TGE on Facebook](#)
[TGE on Instagram](#)

Memorandum

Date: June 8, 2026
To: Mayor and City Council
From: Justine Spease

Subject: Bid Award - Pickleball Courts

Recommendation: The City Engineer and Recreation Director recommend approval.

Action: Make a motion to award the bid for pickleball courts to Multisports LLC in the amount of \$187,915.

Background: Staff has been working with the City Engineer on the design and installation of 4 outdoor pickleball courts for North Park. The site was selected with the notion that it is far from residential areas and relatively flat with room to expand in the future if needed. These courts will be located North of the existing sand volleyball courts, just behind the restrooms. The map is attached.

Discussion: Invitation to bid was posted on April 21st at 8am. Bids were due to the City Clerk on Tuesday, May 12th at 2pm. The City received 8 bids for this project. The lowest bid was Multisports LLC with a total of \$187,915. Multisports LLC, did not use the correct Bid Form from the addendum, even though they acknowledged the addendum. The City Engineer firm spoke with the representative from Multisports and they agreed to still do the project for their bid amount of \$187,915.

Financial Impact: There is \$199,790 budgeted for this project out of the Capital Improvement Reserve Fund in 2026.

BID TABS
North Park Pickleball Courts
 May 12, 2026

Item	Item Description:	Unit	Quantity	McConnell & Associates		Riggs Recreation Equipment, Inc.		Multisports LLC		Byrne and Jones Construction	
				Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension
1	Mobilization	LS	1	\$ 11,080.00	\$11,080.00	\$ 124,933.00	\$124,933.00	\$ 15,000.00	\$15,000.00	\$ 27,790.00	\$27,790.00
2	Construction Staking	LS	1	\$ 2,059.00	\$2,059.00	\$ 5,500.00	\$5,500.00	\$ 900.00	\$900.00	\$ 8,870.00	\$8,870.00
3	Erosion Control	LS	1	\$ 742.00	\$742.00	\$ 4,500.00	\$4,500.00	\$ 500.00	\$500.00	\$ 2,670.00	\$2,670.00
4	Restoration/Seeding	LS	1	\$ 11,892.00	\$11,892.00	\$ 7,500.00	\$7,500.00	\$ 1,200.00	\$1,200.00	\$ 15,150.00	\$15,150.00
5	Unclassified Excavation	CY	170	\$ 54.13	\$9,202.10	\$ 28.17	\$4,788.90	\$ -	\$0	\$ 101.50	\$17,255.00
6	Embankment	CY	165	\$ 55.77	\$9,202.05	\$ 47.00	\$7,755.00	\$ -	\$0	\$ 61.80	\$10,197.00
7	Post Tension Slab (5")	SF	9,100	\$ 14.32	\$130,312.00	\$ 8.83	\$80,350.00	\$ 9.64	\$87,715.00	\$ 11.00	\$100,100.00
8	Vapor Barrier Shield	SF	9,100	\$ 0.07	\$637.00	\$ 2.11	\$19,200.00	\$ 0.05	\$500.00	\$ 0.67	\$6,097.00
9	AB3 Aggregate Base (5")	SY	1,011	\$ 30.66	\$30,997.26	\$ 17.24	\$17,428.75	\$ 11.87	\$12,000.00	\$ 13.00	\$13,143.00
10	Fine Aggregate (2")	SY	1,011	\$ 6.13	\$6,197.43	\$ 17.73	\$17,923.25	\$ 1.98	\$2,000.00	\$ 5.70	\$5,762.70
11	Concrete Sidewalk (4")	SF	578	\$ 9.17	\$5,300.26	\$ 13.73	\$7,936.00	\$ 8.65	\$5,000.00	\$ 11.00	\$6,358.00
12	Surfacing (Acrylic Resurfacer, Acrylic Emulsion, Acrylic Color Pigment)	LS	1	\$ 19,960.00	\$19,960.00	\$ 20,000.00	\$20,000.00	\$ 16,000.00	\$16,000.00	\$ 26,300.00	\$26,300.00
13	Court Markings (2" Lines)	LF	792	\$ 2.84	\$2,249.28	\$ 6.31	\$5,000.00	\$ 1.89	\$1,500.00	\$ 5.29	\$4,190.00
14	Pickleball Net	EA	4	\$ 114.00	\$456.00	\$ 140.00	\$560.00	\$ 600.00	\$2,400.00	\$ 355.00	\$1,420.00
15	Pickleball Net Posts (Set of 2)	EA	4	\$ 624.75	\$2,499.00	\$ 2,850.00	\$11,400.00	\$ 800.00	\$3,200.00	\$ 2,250.00	\$9,000.00
16	8' Fencing (Black Chain Link; Galvanized; includes 4 Gates)	LS	1	\$ 22,055.00	\$22,055.00	\$ 40,368.00	\$40,368.00	\$ 30,000.00	\$30,000.00	\$ 42,600.00	\$42,600.00
17	4' Fencing (Black Chain Link; Galvanized)	LS	1	\$ 9,452.00	\$9,452.00	\$ 14,000.00	\$14,000.00	\$ 10,000.00	\$10,000.00	\$ 6,170.00	\$6,170.00
TOTAL BID =					\$274,292.38		\$389,142.89		\$187,915.00		\$303,072.70

Items in yellow were manually calc'd using the Total Price and Quantity.

Item	Item Description:	Unit	Quantity	Catalpa Construction LLC		Tarkett Sports Construction		Sands Construction LLC		Engineers Estimate	
				Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension
1	Mobilization	LS	1	\$ 14,000.00	\$14,000.00	\$ 18,000.00	\$18,000.00	\$ 18,683.00	\$18,683.00	\$ 15,000.00	\$15,000.00
2	Construction Staking	LS	1	\$ 6,000.00	\$6,000.00	\$ 6,000.00	\$6,000.00	\$ 3,190.00	\$3,190.00	\$ 2,000.00	\$2,000.00
3	Erosion Control	LS	1	\$ 8,000.00	\$8,000.00	\$ 2,000.00	\$2,000.00	\$ 6,400.00	\$6,400.00	\$ 1,500.00	\$1,500.00
4	Restoration/Seeding	LS	1	\$ 6,000.00	\$6,000.00	\$ 5,860.00	\$5,860.00	\$ 20,202.00	\$20,202.00	\$ 2,000.00	\$2,000.00
5	Unclassified Excavation	CY	170	\$ 75.00	\$12,750.00	\$ 50.00	\$8,500.00	\$ 19.00	\$3,230.00	\$ 50.00	\$8,500.00
6	Embankment	CY	165	\$ 35.00	\$5,775.00	\$ 50.00	\$8,250.00	\$ 41.00	\$6,765.00	\$ 50.00	\$8,250.00
7	Post Tension Slab (5")	SF	9,100	\$ 14.00	\$127,400.00	\$ 8.00	\$72,800.00	\$ 9.00	\$81,900.00	\$ 15.00	\$136,500.00
8	Vapor Barrier Shield	SF	9,100	\$ 1.00	\$9,100.00	\$ 0.15	\$1,365.00	\$ 1.55	\$14,105.00	\$ 1.00	\$9,100.00
9	AB3 Aggregate Base (5")	SY	1,011	\$ 10.00	\$10,110.00	\$ 15.00	\$15,165.00	\$ 11.80	\$11,929.80	\$ 10.00	\$10,110.00
10	Fine Aggregate (2")	SY	1,011	\$ 5.00	\$5,055.00	\$ 5.00	\$5,055.00	\$ 5.00	\$5,055.00	\$ 5.00	\$5,055.00
11	Concrete Sidewalk (4")	SF	578	\$ 10.00	\$5,780.00	\$ 11.00	\$6,358.00	\$ 8.00	\$4,624.00	\$ 8.00	\$4,624.00
12	Surfacing (Acrylic Resurfacer, Acrylic Emulsion, Acrylic Color Pigment)	LS	1	\$ 32,000.00	\$32,000.00	\$ 16,120.00	\$16,120.00	\$ 45,177.00	\$45,177.00	\$ 13,000.00	\$13,000.00
13	Court Markings (2" Lines)	LF	792	\$ 10.00	\$7,920.00	\$ 5.00	\$3,960.00	\$ 1.55	\$1,227.60	\$ 3.00	\$2,376.00
14	Pickleball Net	EA	4	\$ 2,500.00	\$10,000.00	\$ 249.00	\$996.00	\$ 258.00	\$1,032.00	\$ 250.00	\$1,000.00
15	Pickleball Net Posts (Set of 2)	EA	4	\$ 2,000.00	\$8,000.00	\$ 1,100.00	\$4,400.00	\$ 1,380.00	\$5,520.00	\$ 2,000.00	\$8,000.00
16	8' Fencing (Black Chain Link; Galvanized; includes 4 Gates)	LS	1	\$ 22,000.00	\$22,000.00	\$ 29,200.00	\$29,200.00	\$ 34,606.00	\$34,606.00	\$ 30,000.00	\$30,000.00
17	4' Fencing (Black Chain Link; Galvanized)	LS	1	\$ 10,000.00	\$10,000.00	\$ 11,520.00	\$11,520.00	\$ 8,984.00	\$8,984.00	\$ 10,000.00	\$10,000.00
TOTAL BID =					\$299,890.00		\$215,549.00		\$272,630.40		\$267,015.00

File: M:\TRN\14-100-501-00\2.0_PROJECT_DISCIPLINES\CLIENT\NORTH PARK PICKLEBALL COURTS\CADD\SHEETS\TITLE.DWG Date: 3/31/2020 By: D.Meyer

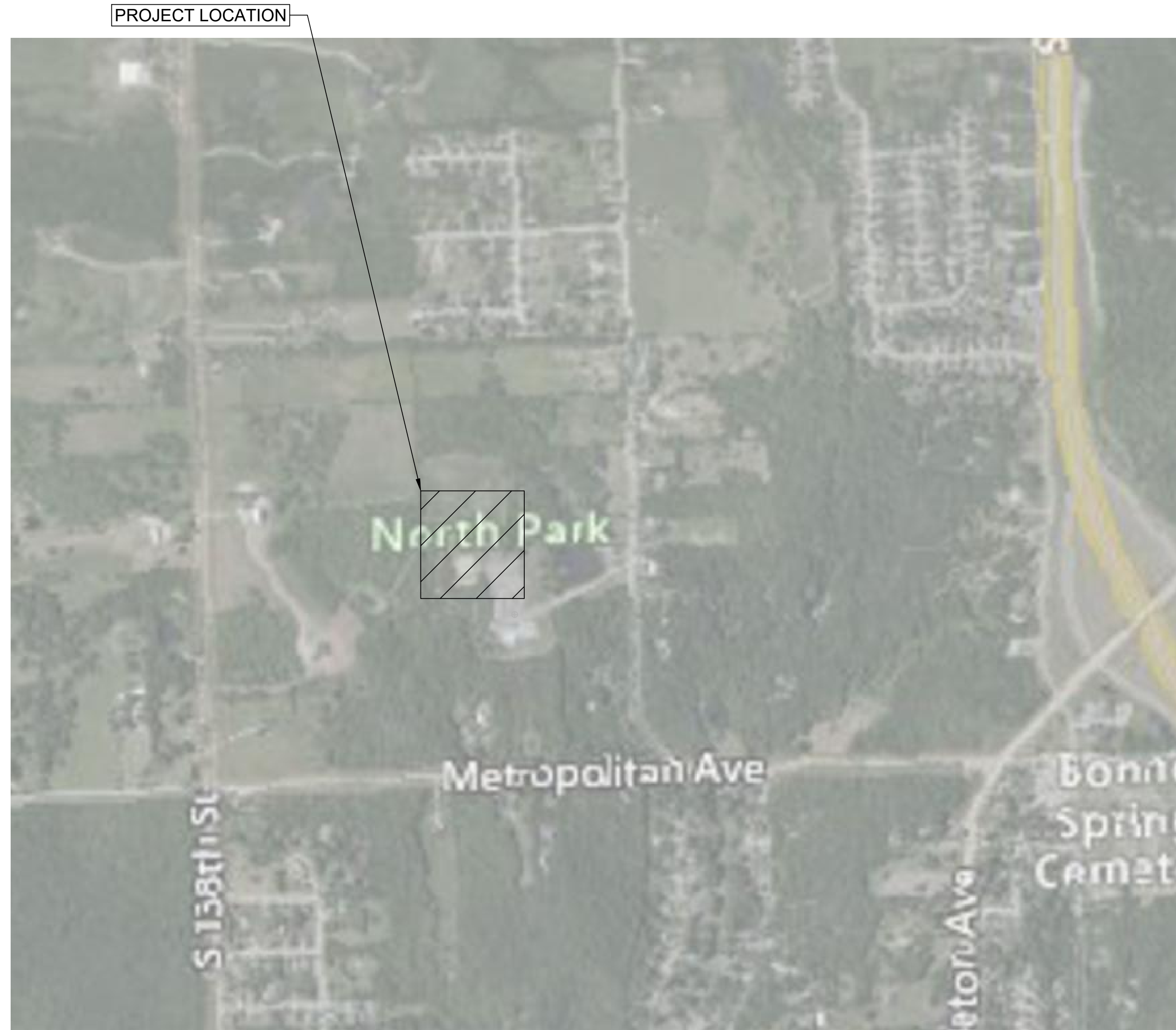
SHEET LIST TABLE	
Sheet Number	Sheet Title
C-001	TITLE SHEET
C-002	SURVEY CONTROL & SECTION VIEWS
C-100	SITE PLAN
C-101	GRADING PLAN
C-200 - C-202	STANDARD DETAILS
C-203 - C-204	SITE DETAILS

BONNER SPRINGS NORTH PARK PICKLEBALL COURTS

CITY OF BONNER SPRINGS, KANSAS

GENERAL NOTES

- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF BONNER SPRINGS, KANSAS, IN CURRENT USAGE.
- ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF BONNER SPRINGS, KANSAS.
- LINEAR FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS. ALL PAYMENTS SHALL BE MADE ON HORIZONTAL MEASUREMENTS, UNLESS STATED OTHERWISE IN THE PLANS OR SPECIFICATIONS.
- PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWINGS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE UTILITY COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
- ALL UTILITY AND SANITARY SERVICE LINES SHALL BE KEPT IN SERVICE AND PROTECTED DURING CONSTRUCTION OPERATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING SERVICE LINES, AND NOTIFY THE CITY'S REPRESENTATIVE OF ANY CONFLICTS IMMEDIATELY.
- PUBLIC AND PRIVATE UTILITY FACILITIES SHALL BE MOVED OR ADJUSTED AS NECESSARY BY THE OWNERS TO FIT THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED IN PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES WHEN IT IS NECESSARY TO ADJUST UTILITY FACILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL TREES FROM DAMAGE BY PLACING SAFETY FENCE AROUND THEM. SAFETY FENCE SHALL BE SUBSIDIARY TO "DEMOLITION & REMOVAL". THE CONTRACTOR SHALL ADJUST SLOPES (3:1 MAX) AS NECESSARY TO PROTECT TREES IDENTIFIED TO BE SAVED. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE ENGINEER, UNLESS SHOWN OTHERWISE. ALL TREES MARKED "X" SHALL BE REMOVED BY THE CONTRACTOR.
- PRIOR TO ANY LAND DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL PREPARE AND SUBMIT AN EROSION CONTROL PLAN TO THE CITY FOR APPROVAL.
- NO SEPARATE PAYMENT WILL BE MADE FOR EXCAVATION. EXCAVATION SHALL BE CONSIDERED SUBSIDIARY TO OTHER ITEMS IN THE CONTRACT.
- DRIVEWAYS, SIDEWALKS, AND OTHER AREAS DAMAGED BY THE CONTRACTOR SHALL BE RESTORED AT CONTRACTOR'S EXPENSE TO A CONDITION EQUAL TO OR BETTER THAN EXISTING BEFORE DAMAGE OCCURRED.
- THE EXISTING WATER VALVES AND WATER METERS SHALL BE ADJUSTED TO MATCH THE PROPOSED GRADES. THIS WORK SHALL BE SUBSIDIARY TO OTHER ITEMS IN THE CONTRACT.
- SOIL BACKFILL FOR CURBS, RAMPS, AND STREET PLANTERS SHALL BE SUBSIDIARY TO OTHER ITEMS IN THE CONTRACT.
- THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL BE RESPONSIBLE FOR MAINTAINING, AND IF DAMAGED, RESTORING DRIVEWAY MARKERS, YARD LIGHTS, SPRINKLER SYSTEMS, IRRIGATION VALVE BOXES, AND SEPTIC SYSTEMS TO A CONDITION EQUAL TO THAT BEFORE DAMAGE OCCURRED. DISTURBED SPRINKLER SYSTEMS SHALL BE TEMPORARILY CONNECTED FOR USE BY PROPERTY OWNER DURING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
- POLICE, FIRE, MED-ACT, AND SCHOOL BUS COMPANIES SHALL BE NOTIFIED PRIOR TO CLOSING ANY STREET WITH APPROVAL OF THE CITY.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF THE CONSTRUCTION WORKERS AND THE PUBLIC.
- THE SURFACE OF THE CONCRETE SIDEWALK SHALL BE GIVEN A NON-SLIP BROOM FINISH. ALL EDGES SHALL BE GIVEN A "PICTURE FRAME FINISH" USING A SMOOTH TROWEL TOOL. THIS EFFORT SHALL BE SUBSIDIARY TO OTHER WORK ITEMS.
- THE CONTRACTOR SHALL SUBMIT A CONCRETE MIX DESIGN THAT OBTAINS AT LEAST 4,000 PSI AND A POST TENSION SLAB DESIGN TO BE APPROVED BY THE ENGINEER.



N
1"=500'

SUMMARY OF QUANTITIES

DESCRIPTION	QUANTITY	UNIT
Mobilization	1	LS
Construction Staking	1	LS
Erosion Control	1	LS
Restoration/Seeding	1	LS
Unclassified Excavation	166	CY
Embankment	152	CY
Post Tension Slab (5")	8,704	SF
Vapor Barrier Shield	8,704	SF
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Concrete Sidewalk (4")	581	SF
Surfacing (Acrylic Resurfacer, Acrylic Emulsion, Acrylic Color Pigment)	1	LS
Court Markings (2" Lines)	792	LF
Pickleball Net	4	EA
Pickleball Net Posts (Set of 2)	4	EA
8' Fencing (Black Chain Link; Galvanized; includes 4 Gates)	1	LS
4' Fencing (Black Chain Link; Galvanized)	1	LS

UTILITY CONTACTS

GAS:
ATMOS
1-866-322-8667

TELEPHONE:
RANDAL GASKIN
AT&T
816-383-6948

FIBER OPTICS:
AT&T

POWER:
KYLE BURKHARDT
EVERGY
785-508-2408

WATER AND SEWER
CITY OF BONNER SPRINGS
913-441-1961



BONNER SPRINGS
NORTH PARK PICKLEBALL COURTS
TITLE

WILSON & COMPANY
800 E 101ST TERR., STE 200
KANSAS CITY, MO 64113
PHONE: (816) 701-3100

CITY OF BONNER SPRINGS, KANSAS
PUBLIC WORKS DEPARTMENT
205 EAST SECOND STREET
P.O. BOX 38
BONNER SPRINGS, KS 66012
PHONE: (913) 422-1020

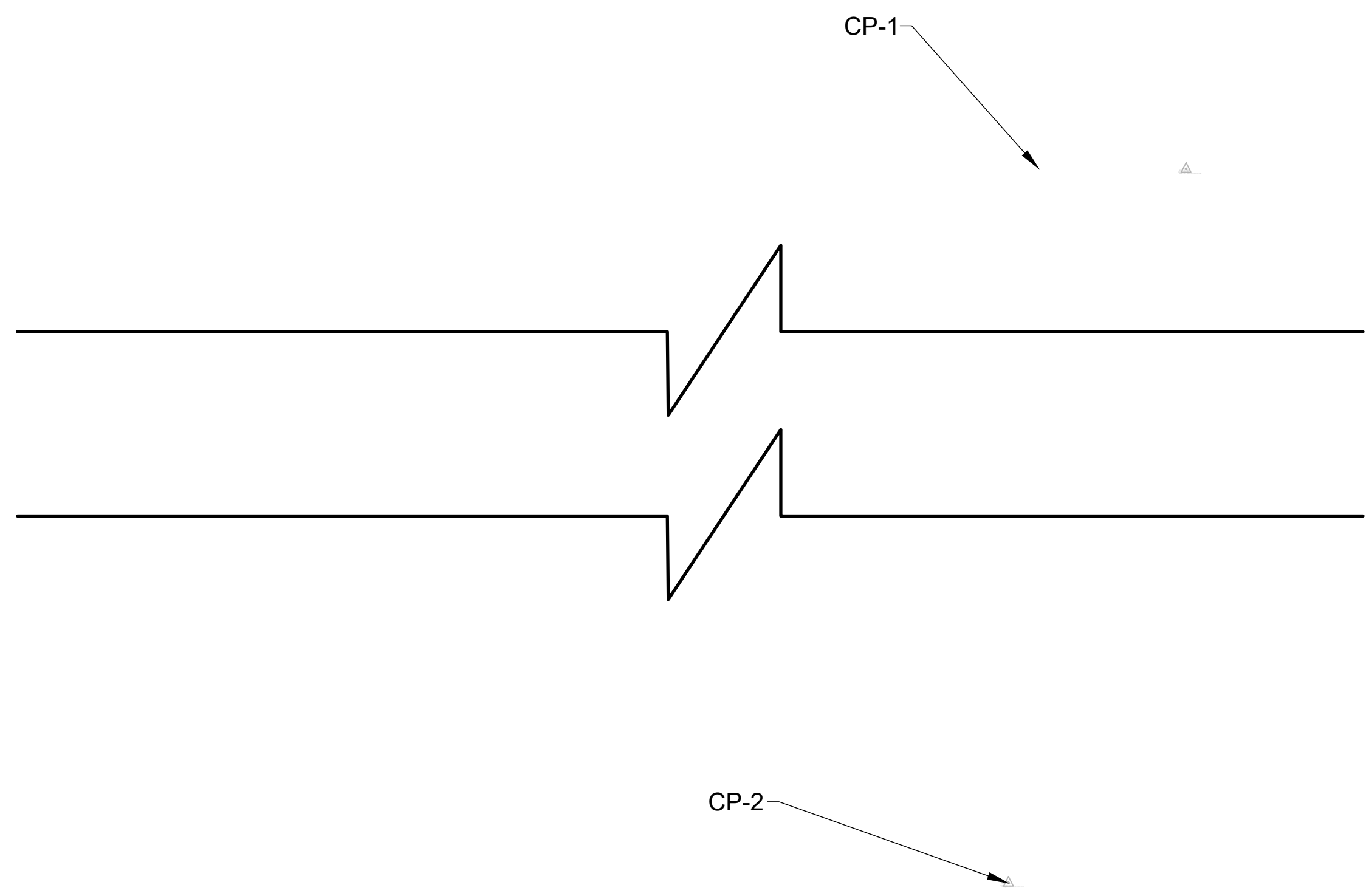
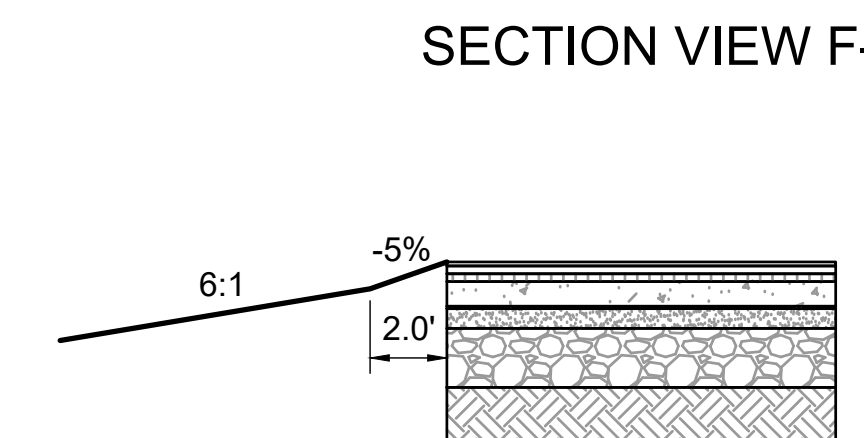
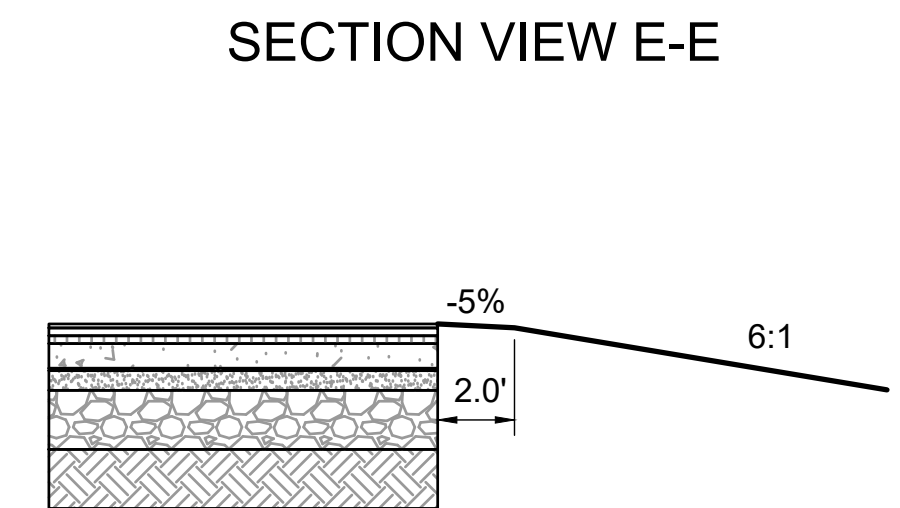
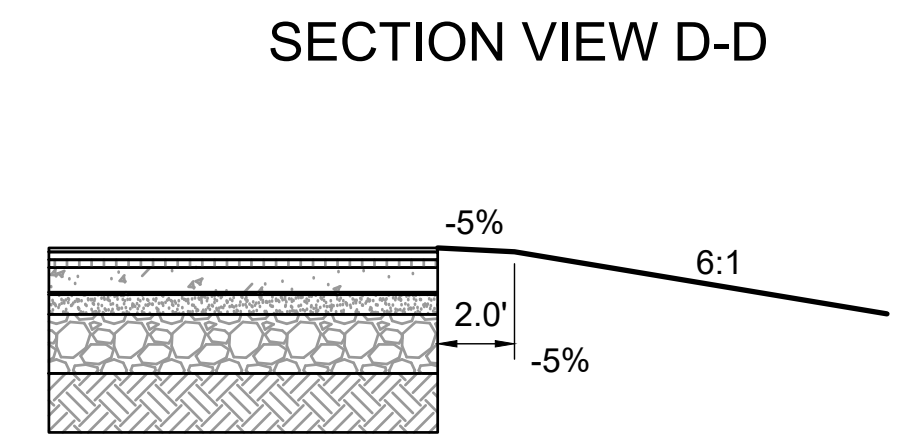
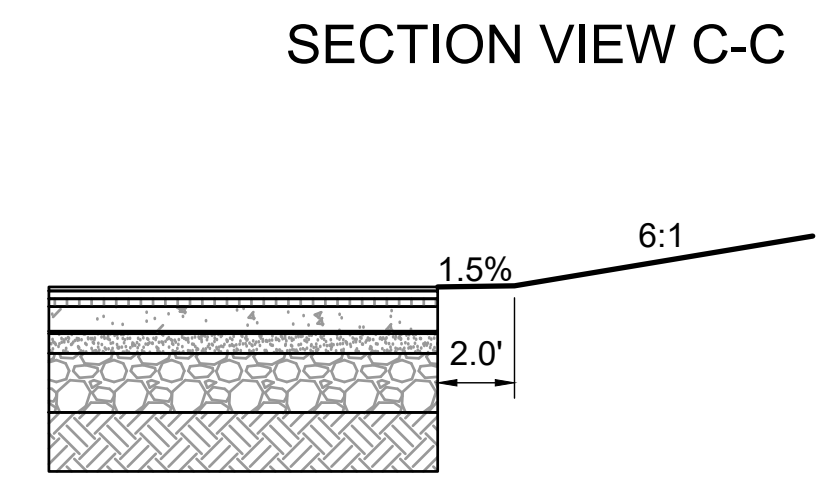
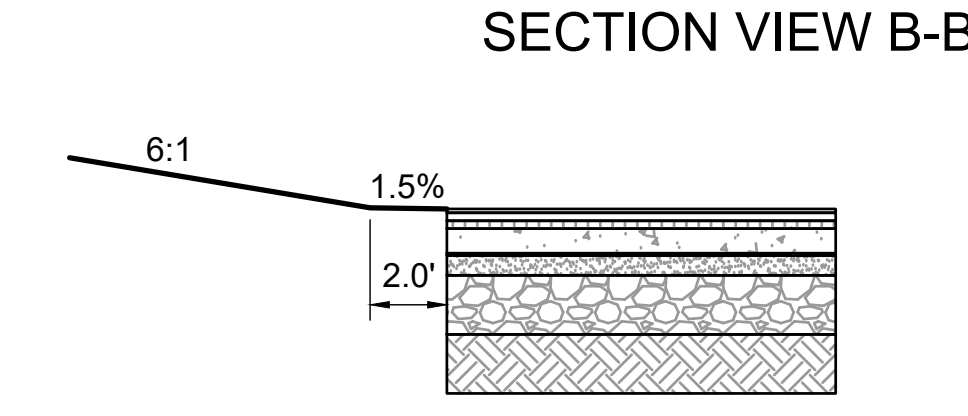
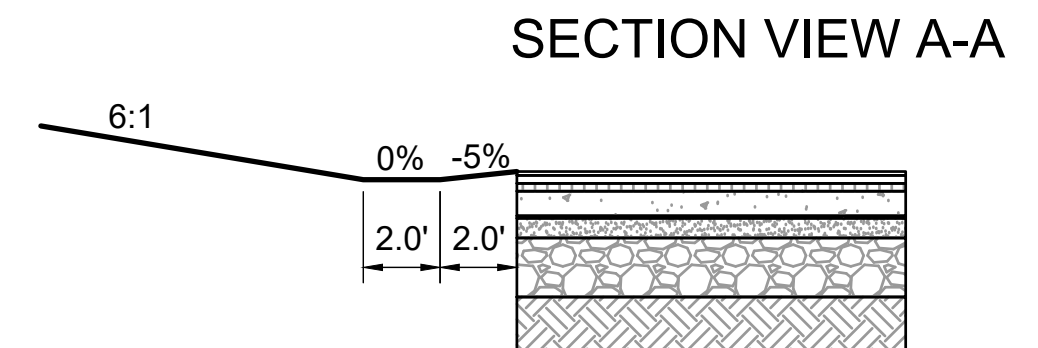
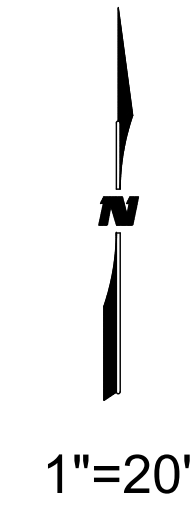
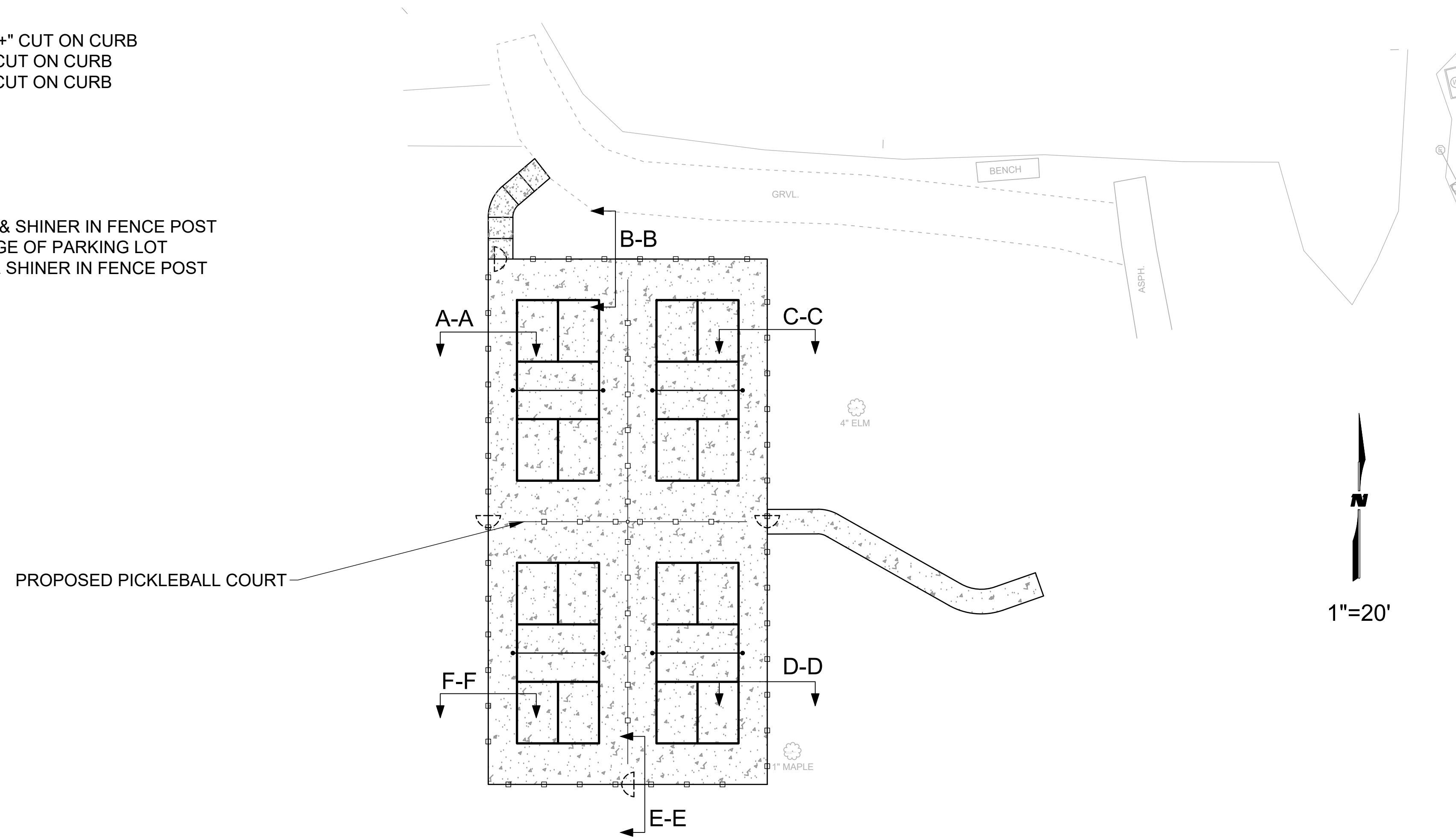


DATE 3/24/2026
DESIGNED BY JKJ
DRAWN BY JKJ
CHECKED BY JCK
SURVEY BOOK NO.
FILE NAME
SHEET C-001

KANSAS NORTH STATE PLANE, NAD 1983, GEOID 18

CP- 1 - SET 5/8" IRON BAR
 W/ WILSON ALUM. CAP
 N. 285635.21
 E. 2193809.76
 EL. 966.78'
 1- 11.00' NW TO CHISLED "+" CUT ON CURB
 2- 3.70' E TO CHISLED "+" CUT ON CURB
 3- 3.60' S TO CHISLED "+" CUT ON CURB

CP- 2 - SET 5/8" IRON BAR
 W/ WILSON ALUM. CAP
 N. 285328.05
 E. 2193991.88
 EL. 964.03'
 1- 11.90' NW TO MAG NAIL & SHINER IN FENCE POST
 2- 3.00' E TO ASPHALT EDGE OF PARKING LOT
 3- 5.10' SW TO MAG NAIL & SHINER IN FENCE POST



**BONNER SPRINGS
 NORTH PARK PICKLEBALL COURTS**
 SURVEY CONTROL & SECTION VIEWS

**WILSON
 & COMPANY**
 800 E 101ST TERR., STE 200
 KANSAS CITY, MO 64131
 PHONE: (816) 701-3100

CITY OF BONNER SPRINGS, KANSAS
 PUBLIC WORKS DEPARTMENT
 205 EAST SECOND STREET
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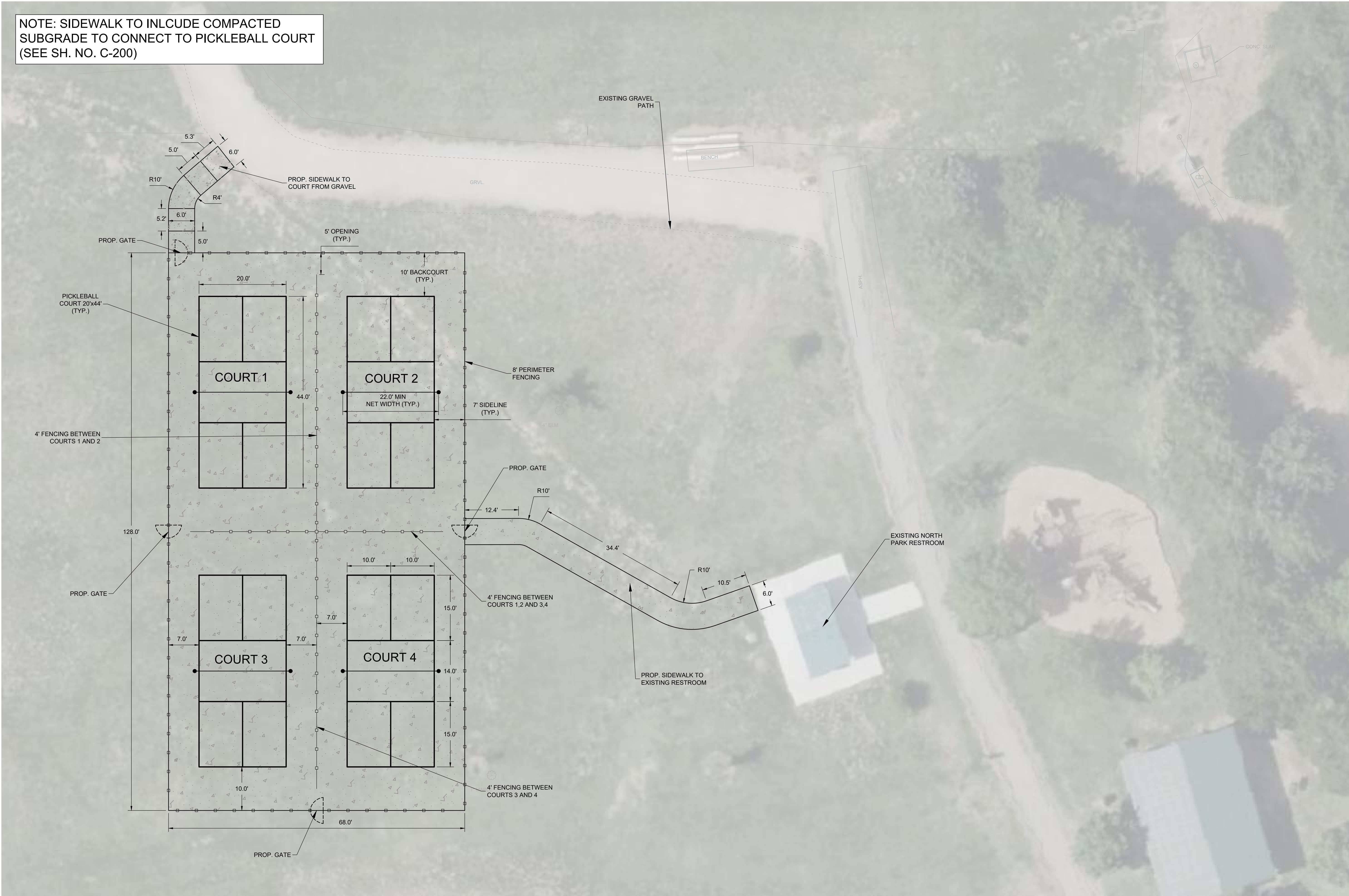


DATE	3/24/2026
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FILE NAME	

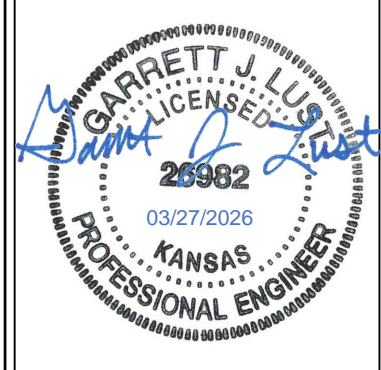
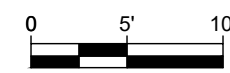
SHEET
C-002

File: M:\TRN\14-100-501-00\2.0_PROJECT_DISCIPLINES\CLIENT\NORTH PARK PICKLEBALL COURTS\CADD\SHEETS\TITLE.DWG Date: 3/31/2020 By: D.Meyer

NOTE: SIDEWALK TO INLCUDE COMPACTED SUBGRADE TO CONNECT TO PICKLEBALL COURT (SEE SH. NO. C-200)



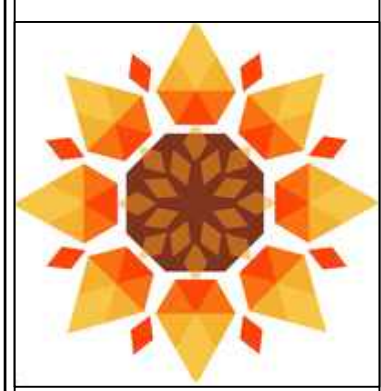
NORTH PARK PICKLEBALL COURT



**BONNER SPRINGS
NORTH PARK PICKLEBALL COURTS**
SITE PLAN

**WILSON
& COMPANY**
800 E 101ST TERR., STE 200
KANSAS CITY, MO 64131
PHONE: (816) 701-3100

CITY OF BONNER SPRINGS, KANSAS
PUBLIC WORKS DEPARTMENT
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BONNER SPRINGS, KS 66012
PHONE: (913) 422-1020



DATE	3/24/2026
DESIGNED BY	JKJ
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CHECKED BY	JCK
SURVEY BOOK NO.	

FILE NAME

SHEET
C-100



NORTH PARK PICKLEBALL COURT



Point Table				
Point #	Elevation	Northing	Easting	Description
1	--	285858.34	2193669.78	ME
2	--	285853.61	2193673.49	ME
3	970.12	285854.92	2193665.79	SW
4	970.18	285850.36	2193669.69	SW
5	969.75	285851.63	2193661.95	SW
6	969.81	285847.08	2193665.86	SW
7	969.12	285844.04	2193658.46	SW
8	969.18	285844.04	2193664.46	SW
9	968.75	285838.88	2193658.46	SW
10	968.81	285838.88	2193664.46	SW
11	968.73	285833.88	2193664.46	PBFG
12	968.67	285833.88	2193658.46	PBFG
13	968.67	285705.88	2193658.46	PBFG
14	969.35	285705.88	2193726.46	PBFG
15	969.35	285766.88	2193726.46	PBFG
16	969.61	285766.92	2193738.84	SW
17	969.65	285766.40	2193740.81	SW
18	969.73	285749.49	2193770.77	SW
19	969.81	285748.33	2193783.93	SW
20	969.87	285753.99	2193781.94	SW
21	969.79	285754.72	2193773.72	SW
22	969.71	285771.63	2193743.76	SW
23	969.67	285772.92	2193738.82	SW
24	969.35	285772.88	2193726.46	PBFG
25	969.35	285833.88	2193726.46	PBFG

ME = MATCH EXISTING GROUND
 SW = SIDEWALK
 PBFG = PICKLEBALL COURT FINISHED GRADE



BONNER SPRINGS
 NORTH PARK PICKLEBALL COURTS
 GRADING PLAN

WILSON & COMPANY
 800 E 101ST TERR., STE 200
 KANSAS CITY, MO 64131
 PHONE: (816) 701-3100

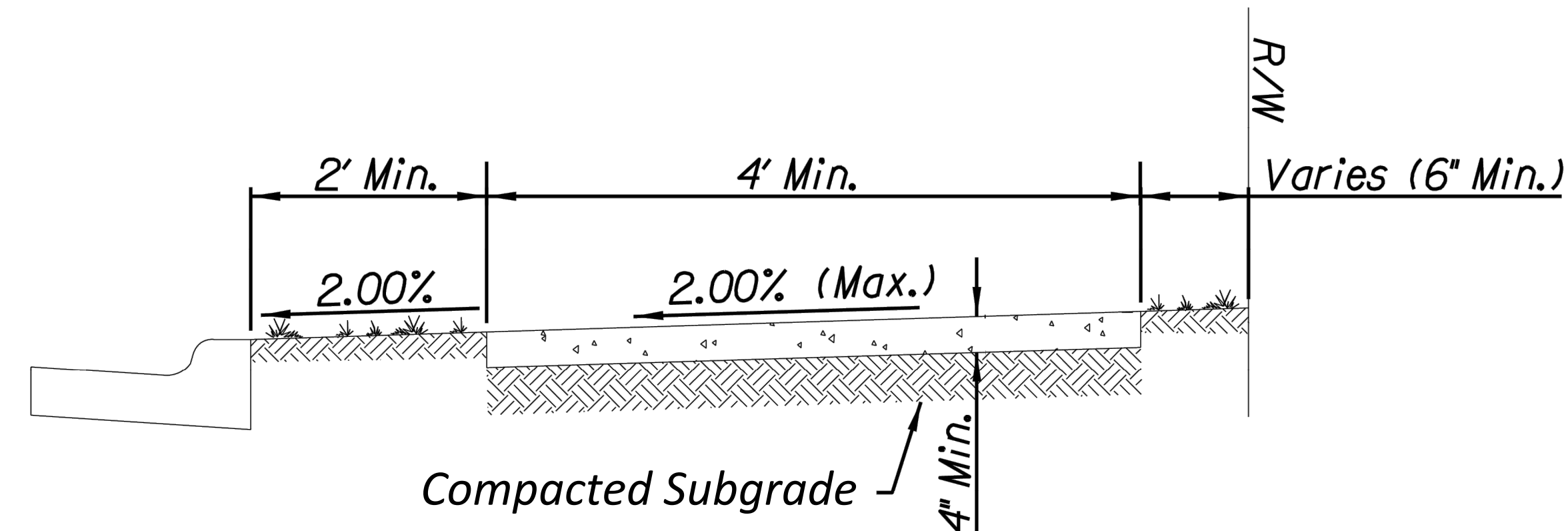
CITY OF BONNER SPRINGS, KANSAS
 PUBLIC WORKS DEPARTMENT
 205 EAST SECOND STREET
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 BONNER SPRINGS, KS 66012
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DATE
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 JKJ
 CHECKED BY
 JCK
 SURVEY BOOK NO.

FILE NAME


SHEET
C-101

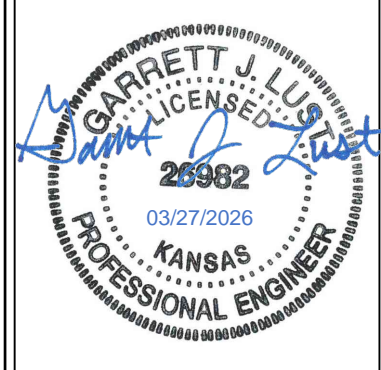


TYPICAL SIDEWALK
N.T.S.

NOTES:

1. Joints shall be formed at right angles to the alignment of the sidewalk and to the depths indicated below.
2. The sidewalk shall be marked off into square sections by contraction joints. Contraction joints shall be one-eighth (1/8) inch wide by one (1) inch deep and may be formed by tooling or by use of a concrete saw.
3. Expansion joints shall be formed by a one-half (1/2) inch thick preformed joint filler, extending the full depth of the slab, and secured so that they are not moved by depositing and compacting the concrete at these joints.
4. Expansion joints shall be placed where sidewalk abuts other structures and shall not be spaced more than 50 feet apart on straight runs for hand laid sidewalk and not more than 100 feet apart on straight runs for machine laid sidewalks.
5. Sidewalks shall conform to the latest ADA guidelines.
6. Compacted subgrade under sidewalk to connect to Pickleball Courts.

 CITY OF BONNER SPRINGS																	
ADOPTED: 07-11-2005	DRAWING TITLE	STANDARD DETAIL															
<table border="1" style="width: 100%;"> <thead> <tr> <th style="width: 60%;">REVISIONS</th> <th style="width: 20%;">DATE</th> <th style="width: 20%;">BY</th> </tr> </thead> <tbody> <tr> <td>General Revisions</td> <td>8/15/2011</td> <td>WFL</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS	DATE	BY	General Revisions	8/15/2011	WFL										SIDEWALK DETAIL	23-4
REVISIONS	DATE	BY															
General Revisions	8/15/2011	WFL															



BONNER SPRINGS
NORTH PARK PICKLEBALL COURTS
 STANDARD DETAILS

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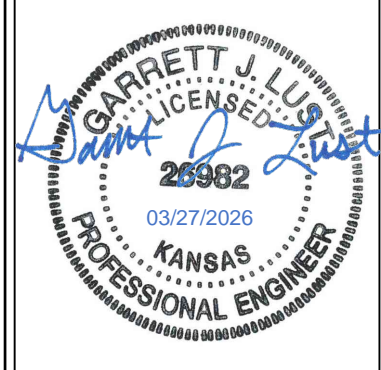
CITY OF BONNER SPRINGS, KANSAS
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SURVEY BOOK NO.	

FILE NAME

SHEET
C-200



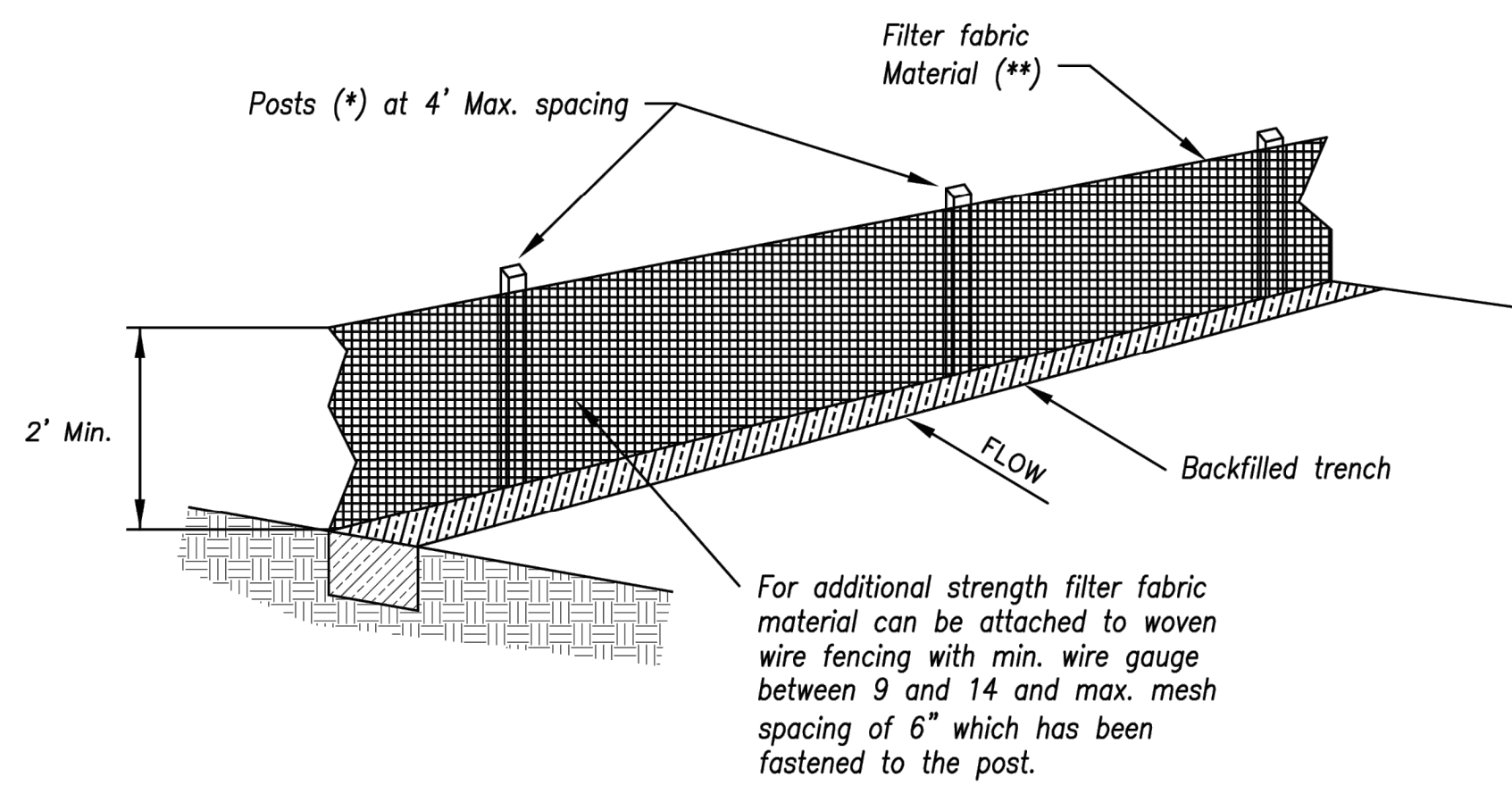
**BONNER SPRINGS
NORTH PARK PICKLEBALL COURTS**
STANDARD DETAILS

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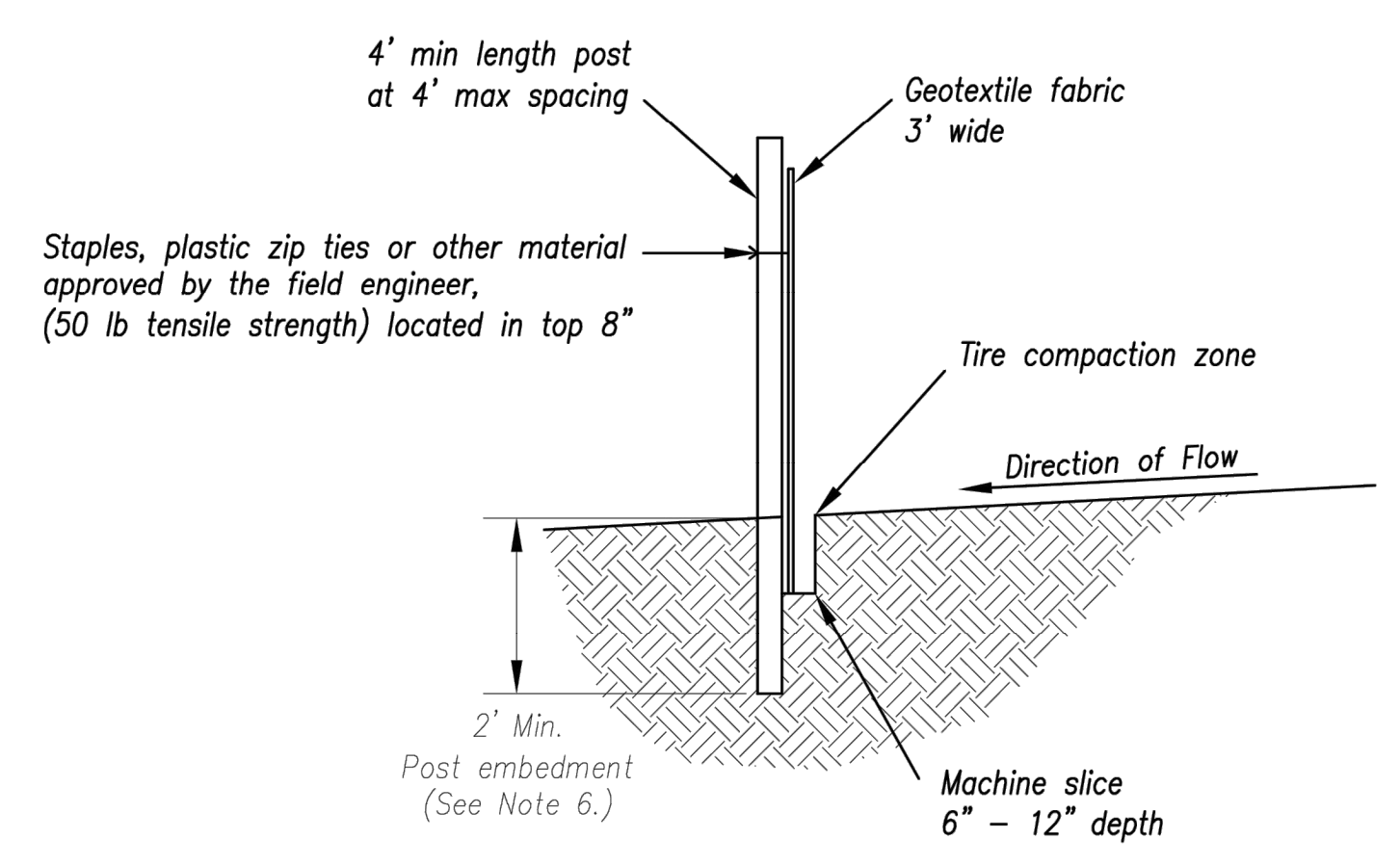
DATE	3/24/2026
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SURVEY BOOK NO.	
FILE NAME	
SHEET	C-201



- (*) POSTS
- MIN. LENGTH 4'
 - HARDWOOD 1 3/16" x 1 3/16"
 - NO.2 SOUTHERN PINE 2 5/8" x 2 5/8"
 - STEEL 1.33 LB/FT

(**) - Geotextile Fabric shall meet the requirements of AASHTO M288

SILT FENCE DETAILS
Not to Scale



Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
2. Repair as necessary to maintain function and structure.

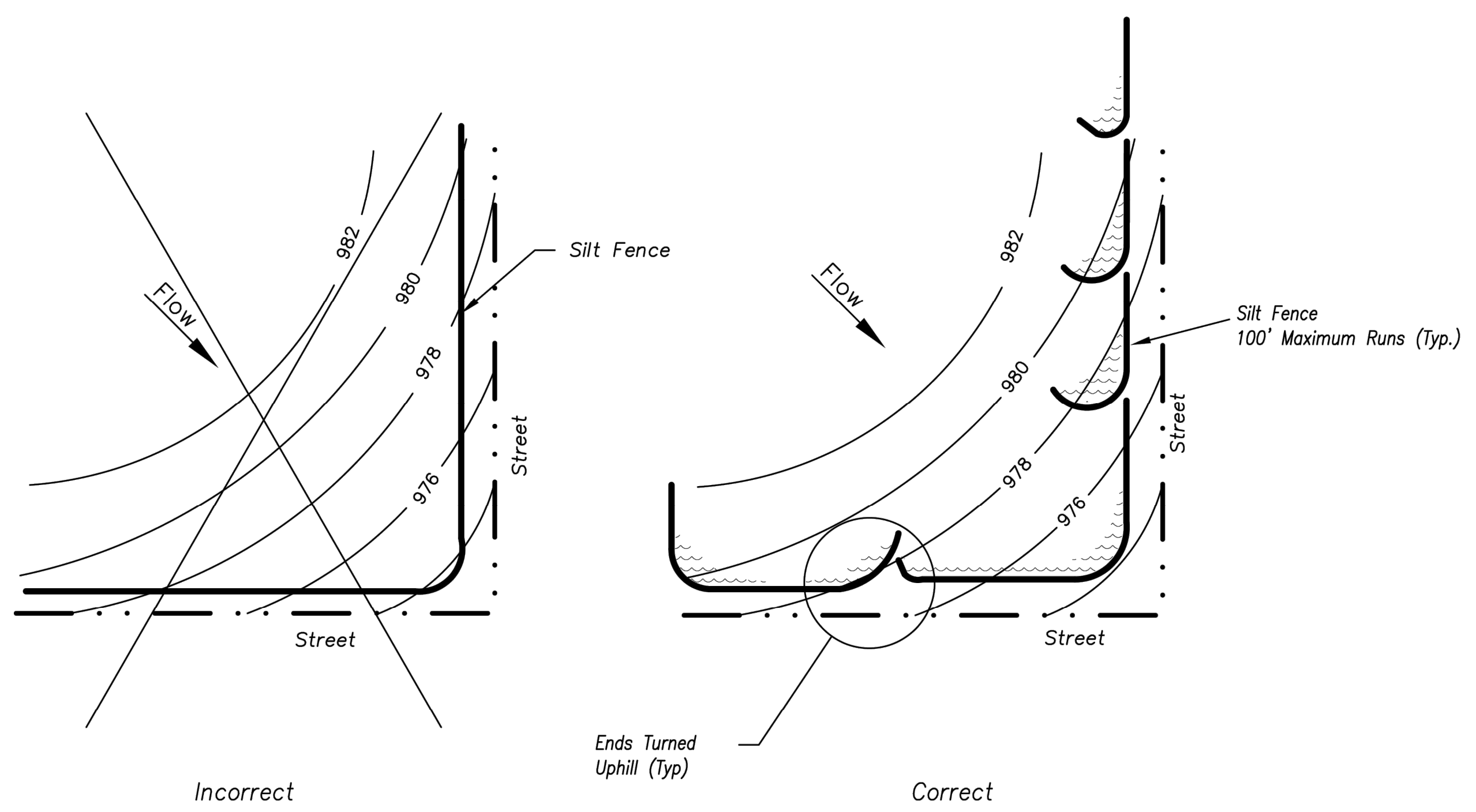
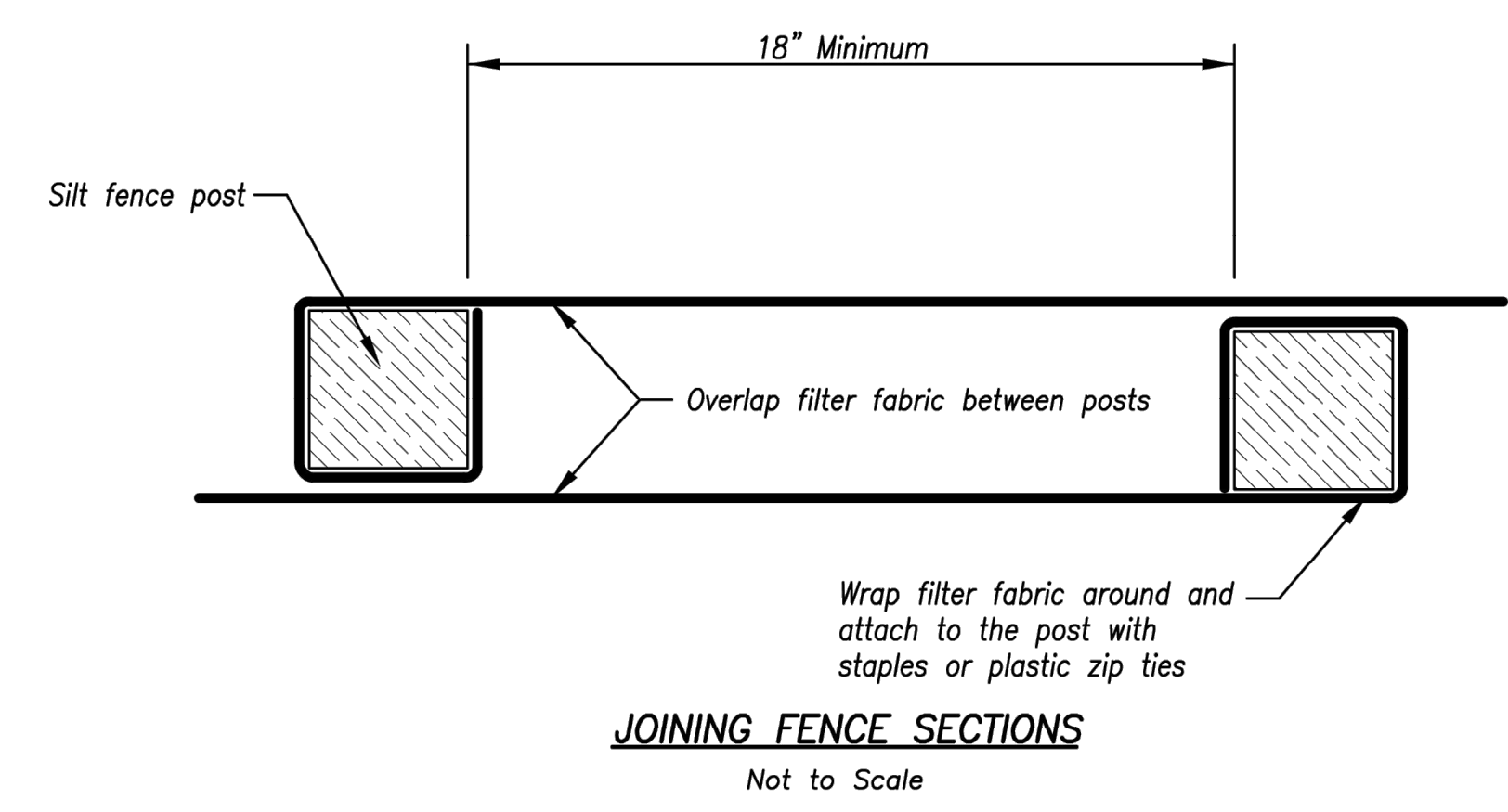
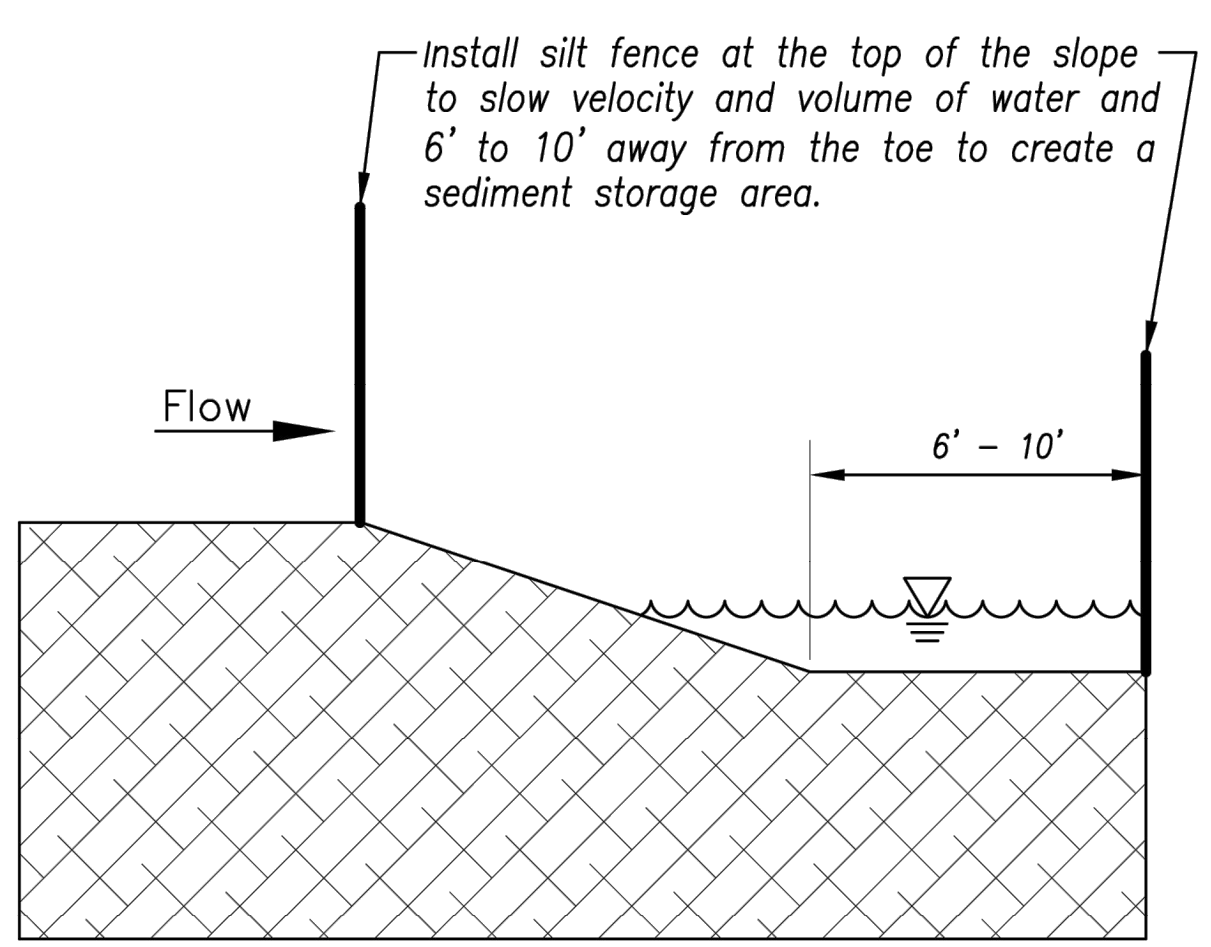
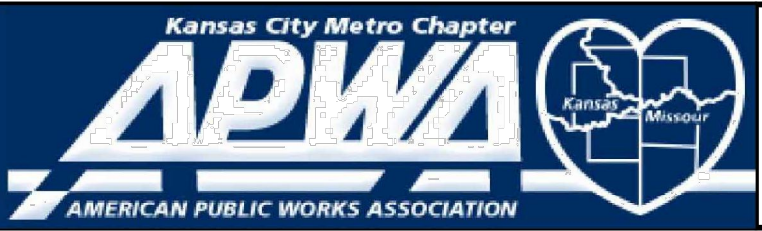


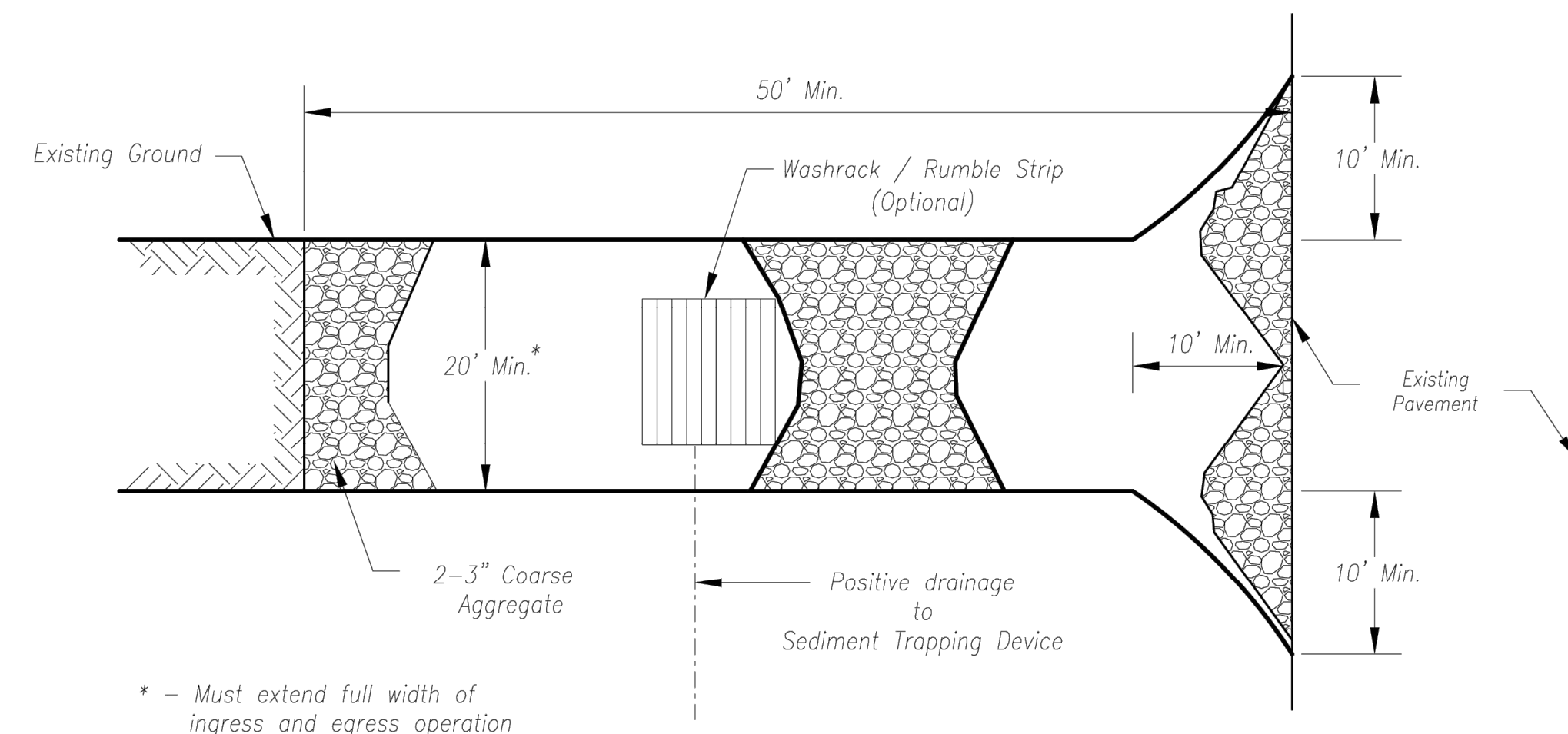
Figure A

SILT FENCE LAYOUT
Not to Scale

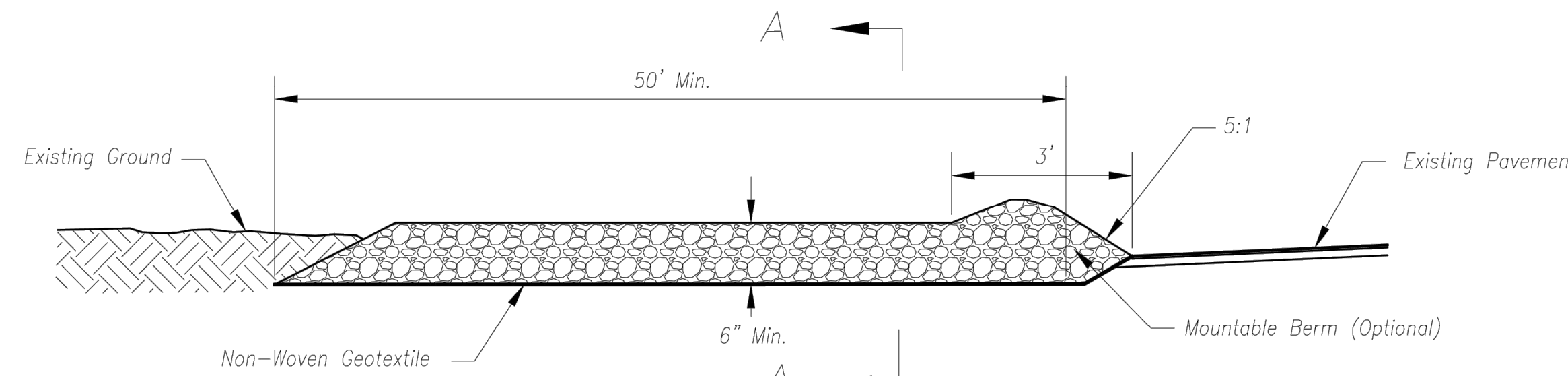


AMERICAN PUBLIC WORKS ASSOCIATION	
	
KANSAS CITY METRO CHAPTER	
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016

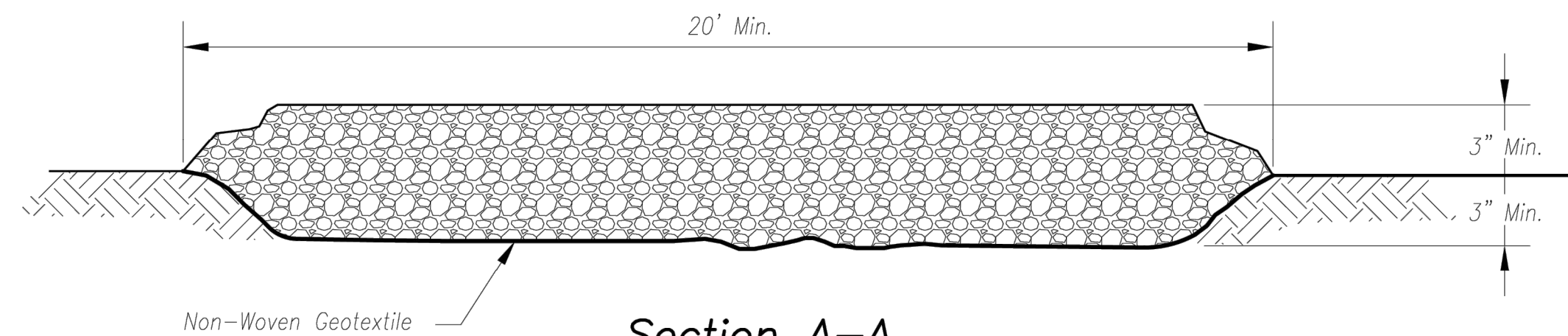
Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.



Plan View
Not to Scale



Side Elevation
Not to Scale



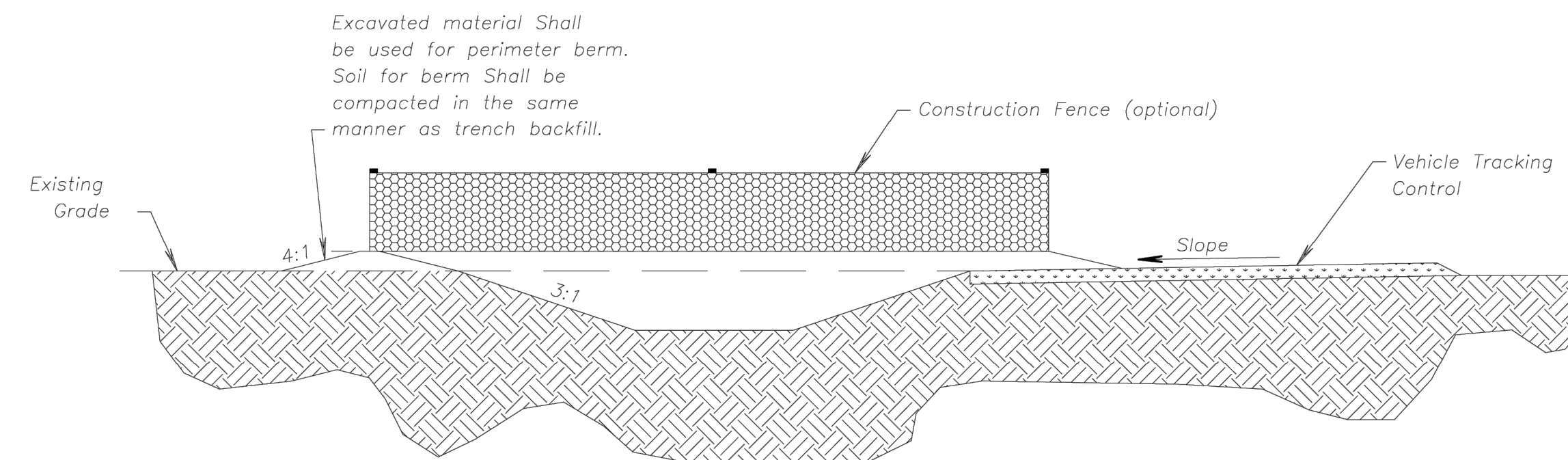
Section A-A
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Notes for Concrete Washout:

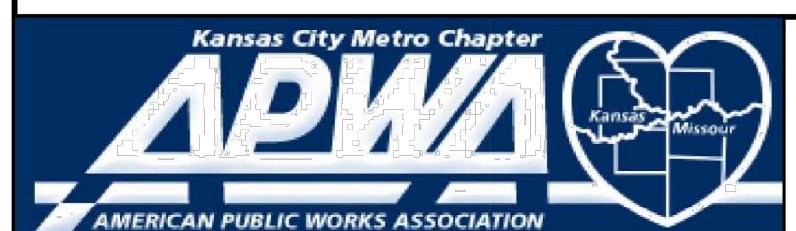
1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION	
 Kansas City Metro Chapter AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control; Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

CONSTRUCTION ENTRANCE

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.



BONNER SPRINGS PICKLEBALL COURTS
 NORTH PARK PICKLEBALL COURTS
 STANDARD DETAILS

WILSON & COMPANY
 800 E 101ST TERR., STE 200
 KANSAS CITY, MO 64131
 PHONE: (816) 701-3100

CITY OF BONNER SPRINGS, KANSAS
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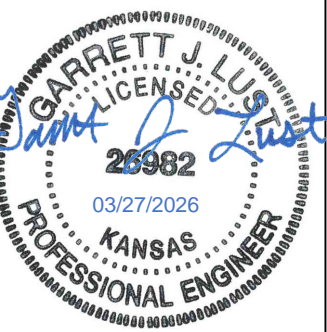


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DESIGNED BY	JKJ
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SURVEY BOOK NO.	
FILE NAME	
SHEET	C-202

CHAINLINK FENCE AND GATE NOTES:

1. PROVIDE SHOP DRAWINGS OF FENCE AND GATES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
2. FIELD VERIFY LOCATIONS AND DIMENSIONS PRIOR TO FABRICATION
3. COLOR TO BE BLACK.
4. ALL BRACKETS TO BE AMERSTAR #BB111 'MONTAGE PLUS' FLAT MOUNT BRACKETS, COLOR TO MATCH FENCE.
5. INTERIOR CHAINLINK FENCE SHOULD BE 4'-0"
6. PERIMETER CHAINLINK FENCE SHOULD BE 8'-0"
7. ALL GATES SHOULD BE 8'-0" TALL AND 5'-0" WIDE

**SHOP DRAWINGS
REQUIRED**



**BONNER SPRINGS
NORTH PARK PICKLEBALL COURTS
SITE DETAILS**

**WILSON
& COMPANY**
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KANSAS CITY, MO 64131
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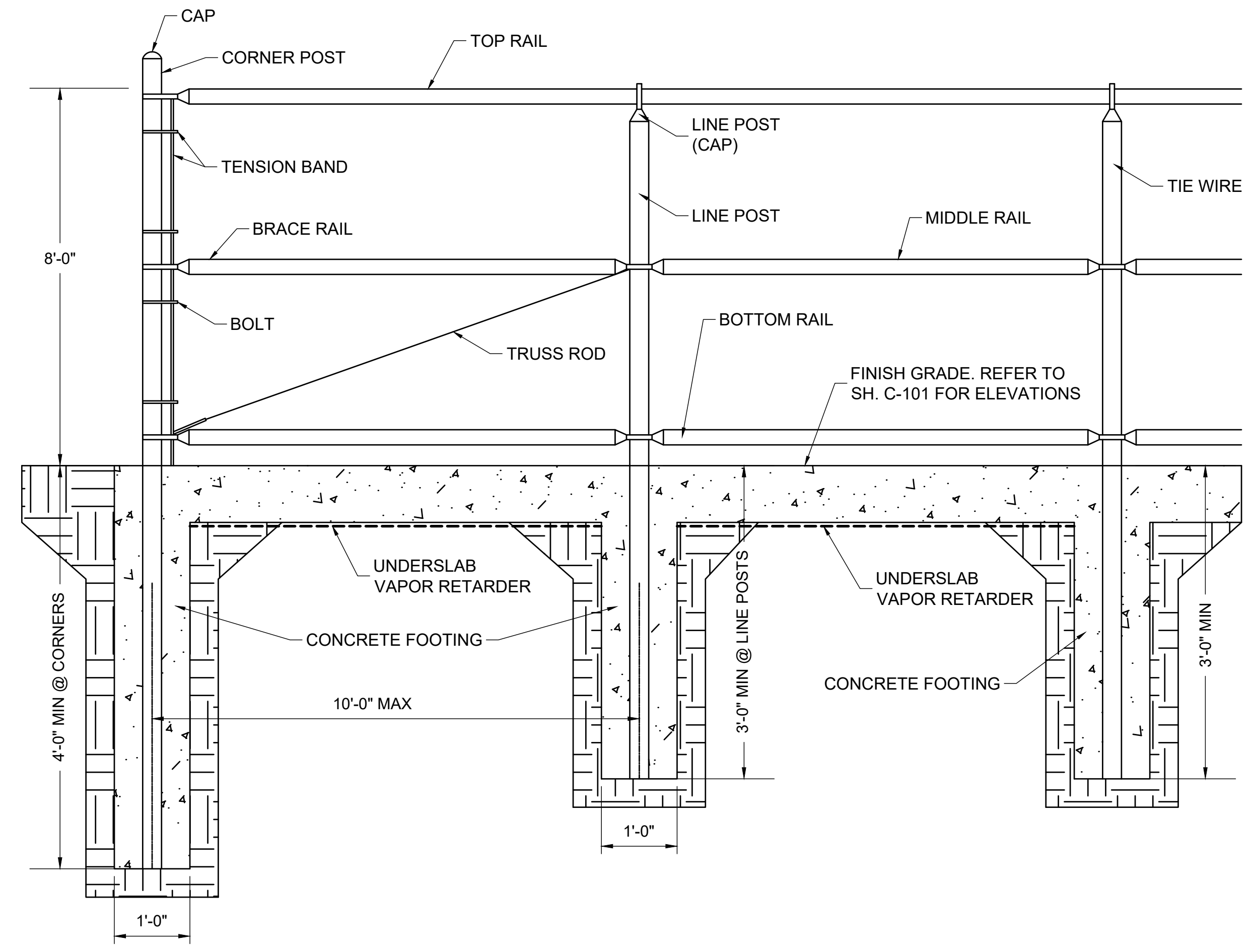
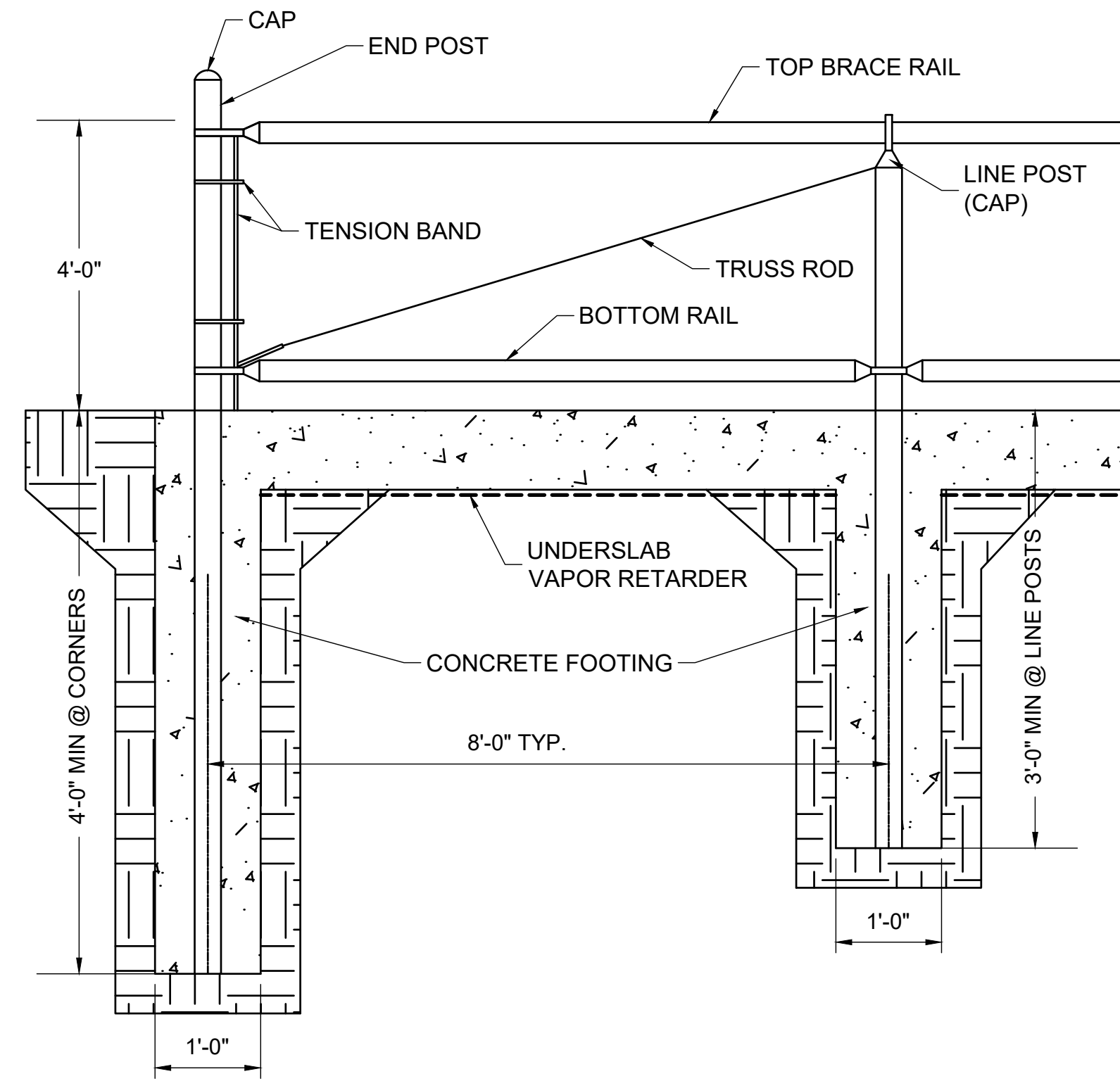
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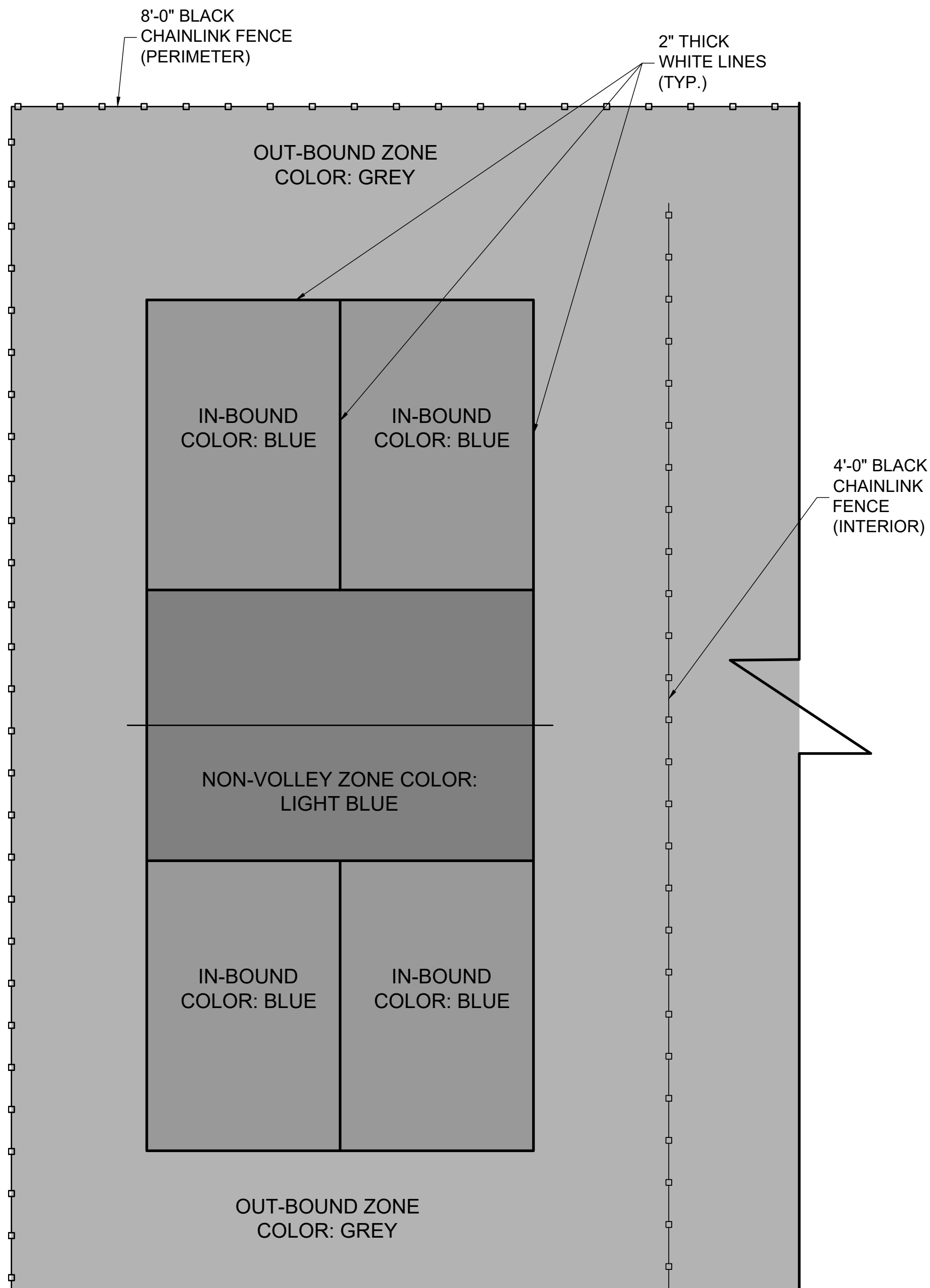
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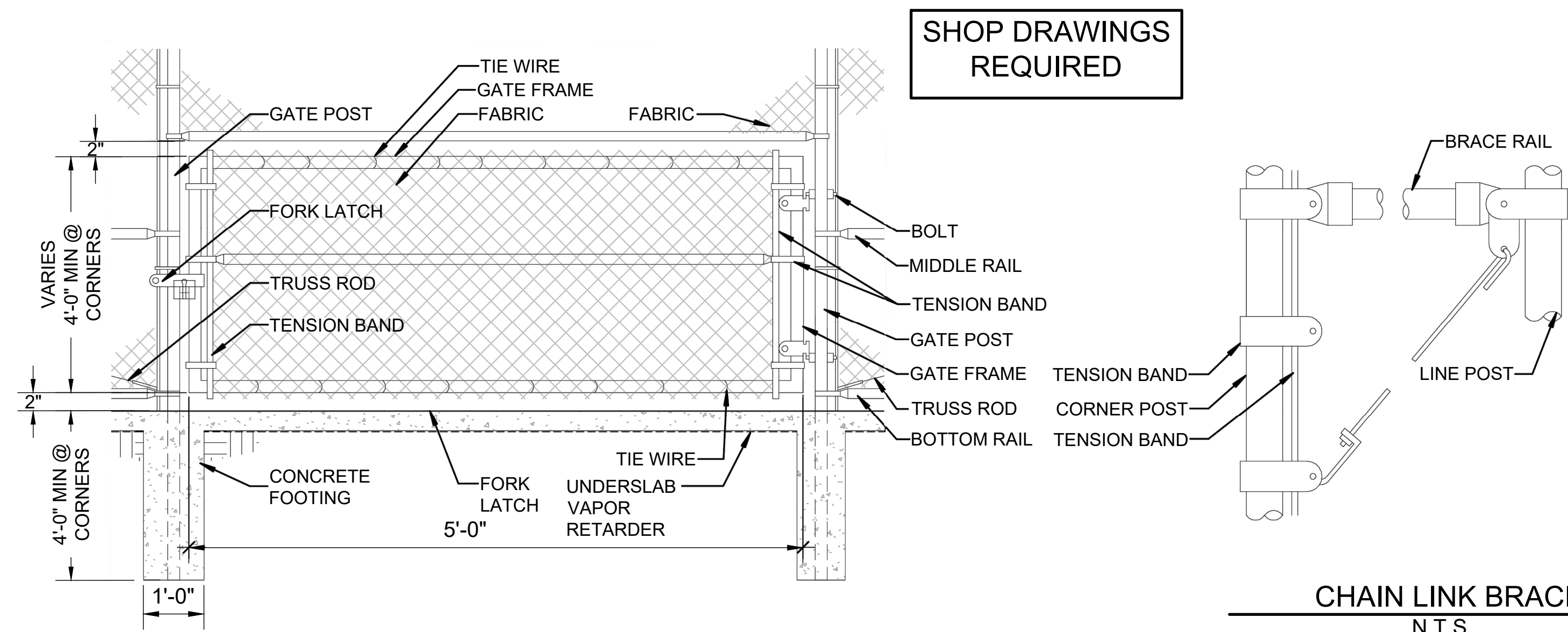
SHEET
C-204



CHAIN LINK FENCE & GATE ELEVATION (8'-0")
N.T.S



PICKLEBALL COURT MARKINGS
N.T.S



CHAIN LINK FENCE GATE ELEVATION
N.T.S

CHAIN LINK BRACE
N.T.S

**SHOP DRAWINGS
REQUIRED**

**SHOP DRAWINGS
REQUIRED**

**ENGINEERS ESTIMATE OF PROBABLE CONSTRUCTION COST
CITY OF BONNER SPRINGS, KANSAS
NORTH PARK PICKLEBALL COURTS
WILSON & COMPANY PROJECT NO. 14-100-501-00-17**

Date: 3/31/2026

Estimators: JKJones
Stage: Final Plans

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL PRICE
Mobilization	1	LS	\$15,000.00	\$15,000.00
Construction Staking	1	LS	\$2,000.00	\$2,000.00
Erosion Control	1	LS	\$1,500.00	\$1,500.00
Restoration/Seeding	1	LS	\$2,000.00	\$2,000.00
Unclassified Excavation	166	CY	\$50.00	\$8,300.00
Embankment	152	CY	\$50.00	\$7,600.00
Post Tension Slab (5")	8,704	SF	\$15.00	\$130,560.00
Vapor Barrier Shield	8,704	SF	\$1.00	\$8,704.00
AB3 Aggregate Base (5")	967	SY	\$10.00	\$9,670.00
Fine Aggregate (2")	967	SY	\$5.00	\$4,835.00
Concrete Sidewalk (4")	581	SF	\$8.00	\$4,650.49
Surfacing (Acrylic Resurfacer, Acrylic Emulsion, Acrylic Color Pigment)	1	LS	\$13,000.00	\$13,000.00
Court Markings (2" Lines)	792	LF	\$3.00	\$2,376.00
Pickleball Net	4	EA	\$250.00	\$1,000.00
Pickleball Net Posts (Set of 2)	4	EA	\$2,000.00	\$8,000.00
8' Fencing (Black Chain Link; Galvanized; includes 4 Gates)	1	LS	\$30,000.00	\$30,000.00
4' Fencing (Black Chain Link; Galvanized)	1	LS	\$10,000.00	\$10,000.00

Total Probable Construction Cost \$259,195



Memorandum

Date: June 8, 2026
To: Mayor and City Council
From: Mark Lee

Subject: MC-01-26 - Municipal Code Amendment — Storage Container Regulations

Recommendation: Staff recommends approval.

Action: Make a motion to approve an ordinance amending the Municipal Code of Bonner Springs as it relates to Storage Containers.

Background: Staff have noticed more shipping containers popping up around town, some that have been in existence for years, some that have just shown up in the past few years. Rather than outright ban them, staff created regulations based loosely on surrounding communities.

Storage containers and the like are becoming increasingly used in both industrial and commercial facilities as well as in residential settings. These regulations will provide some guidance for those uses.

Discussion: The Municipal Code section is attached.

Financial Impact:

Existing Municipal Code section and language –

11-414. Storage Containers.

The use of storage pods and similar metal containers used for the storage of materials, possessions, products or other items may be permitted for no more than two (2) months in any twelve (12) month period, which may be consecutive or non-consecutive. Containers must be positioned or located on private property on a driveway or other improved surface. Storage containers shall not be positioned or located in the yard and shall not be placed in the public right-of-way, easement, public street or any public property without prior written permission from the City.

Proposed Amendment(s) to Section(s) 11-302 and 11-414

No definition exists for Storage/Shipping Containers currently, the below will be added-

Section 11-302. General Definitions

Storage/Shipping Container – A standardized reusable steel intermodal container commonly used for the storage and movement of materials and products in a global containerized freight transport system. Other names include container, storage container, freight container, ISO container, cargo container, hi-cube container, Conex box and Sea Can.

"Intermodal" indicates that the container can be moved from one mode of transport to another.

Shipping Containers DO NOT include rail box cars, truck trailers or vehicular transport truck box enclosures which were manufactured as an integral part of a vehicle, or which have or had permanently affixed wheels.

11-414. Storage/Shipping Containers.

A. Storage/Shipping Containers - Ancillary to commercial or industrial uses: The use or repair of Shipping Containers in operational or logistical support of non-retail commercial or industrial warehousing, manufacturing, distribution, or related uses is allowed and shall not be considered temporary. Such uses are not subject to the restrictions of this section.

1. If said storage/shipping container is to become a permanent fixture of the site, it shall have all signage on the shipping container removed and the shipping container shall be painted a color complementary to the primary structure and maintained in good condition.

B. Permanent Use: Shipping containers are allowed for use as accessory structures, subject to the accessory building size, number, height, and location requirements set forth in the Unified Development Ordinance and subject to the following restrictions:

1. The use of shipping containers as permanent accessory structures requires the issuance of a building permit.
2. Maximum number of containers per parcel is one.
3. Maximum size per container is 1,360 cubic feet (8x8.5x20)
4. Maximum height is 8.5 feet

5. All signage/lettering on the shipping container shall be removed and the shipping container shall be painted a color complementary to the primary structure and maintained in good condition.
 6. Shipping containers shall not be stacked on top of each other and shall be safe, structurally sound, stable, in good repair, and in compliance with any other City requirements, including building codes.
 7. Adequate means for fire and emergency vehicle access to shipping containers shall be provided.
 8. Containers may not be stored in a manner that impedes access to public right-of-way, public utility or drainage easements, adjacent structures, and buildings, etc.
 9. All shipping containers must be placed on a surface capable of sustaining vehicle and foot traffic loads without the formation of muddy or soft conditions. These surfaces may include concrete, asphalt, gravel, paving stones, or other similar durable, non-biodegradable materials.
- C. **Materials Stored:** Materials stored inside the container shall be normal personal household items when used in residential zoning districts. No commercial or business products, equipment or materials shall be stored in a container unless said container is located in commercial or industrial zoning and labeled appropriately.
- D. **Screening and Landscaping:** The perimeter of the area on which containers are placed shall be screened from adjoining properties and from the street. Screening may consist of existing vegetation, new vegetation, fencing, berms, or other on-site structures that significantly obscure the visual presence of the container from off-site locations. The container shall not be predominantly visible from any public street or from any residential property.
- E. **Setbacks and Separation distance (Commercial/Industrial):** Containers shall be setback a minimum of 20 ft. from the property lines. When adjacent to an existing residential property, containers shall be at least 50 ft. feet from the property line.
- F. **Temporary Use:** Shipping containers are allowed in all zoning districts as temporary uses for purposes of relocation of home or business, remodeling, or temporary storage of goods, equipment, or personal possessions, subject to the following restrictions:
1. The maximum size of all containers on any zoned lot at any one time shall be 2,720 cubic feet. (this will allow for two containers measuring 20'x8'x8.5').
 2. The maximum number of containers on any zoned lot at any one time shall be two.
 3. Shipping containers are allowed for a maximum period of 30 days. Time extensions of up to an additional 30 days may be approved by the Code Enforcement Official, Public Works Director and/or the Community Development Director.
 4. Storage containers shall not be positioned or located in the yard and shall not be placed in the public right-of-way, easement, public street or any public property without prior written permission from the City.

5. All shipping containers must be placed on a hard surface. Such hard surface must be a solid surface capable of preventing the growth of grass or weeds and capable of sustaining vehicle and foot traffic loads without the formation of muddy or soft conditions. These surfaces may include concrete, asphalt, gravel, paving stones, or another similar durable, non-biodegradable materials.
6. No shipping container can be placed in such a way that it blocks visibility for motorists, or otherwise presents a safety hazard, in the judgment of the Code Enforcement Official, Public Works Director and/or the Community Development Director.

DRAFT

An Ordinance Amending Sections 11-302 and 11-414 of the Municipal Code of Bonner Springs, Kansas

Be it Ordained by the Governing Body of the City of Bonner Springs, Kansas:

Section I: Section 11-302 shall be amended by adding a definition for storage containers. Said definition shall read as follows:

Storage/Shipping Container – A standardized reusable steel intermodal container commonly used for the storage and movement of materials and products in a global containerized freight transport system. Other names include container, storage container, freight container, ISO container, cargo container, hi-cube container, Conex box and Sea Can. "Intermodal" indicates that the container can be moved from one mode of transport to another.

Shipping Containers DO NOT include rail box cars, truck trailers or vehicular transport truck box enclosures which were manufactured as an integral part of a vehicle, or which have or had permanently affixed wheels.

Section II: Section 11-414 shall be amended as follows:

11-414. Storage/Shipping Containers.

A. Storage/Shipping Containers - Ancillary to commercial or industrial uses: The use or repair of Shipping Containers in operational or logistical support of non-retail commercial or industrial warehousing, manufacturing, distribution, or related uses is allowed and shall not be considered temporary. Such uses are not subject to the restrictions of this section.

1. If said storage/shipping container is to become a permanent fixture of the site, it shall have all signage on the shipping container removed and the shipping container shall be painted a color complementary to the primary structure and maintained in good condition.

B. Permanent Use: Shipping containers are allowed for use as accessory structures, subject to the accessory building size, number, height, and location requirements set forth in the Unified Development Ordinance and subject to the following restrictions:

1. The use of shipping containers as permanent accessory structures requires the issuance of a building permit.
2. Maximum number of containers per parcel is one.
3. Maximum size per container is 1,360 cubic feet (8x8.5x20)
4. Maximum height is 8.5 feet
5. All signage/lettering on the shipping container shall be removed and the shipping container shall be painted a color complementary to the primary structure and maintained in good condition.
6. Shipping containers shall not be stacked on top of each other and shall be safe, structurally sound, stable, in good repair, and in compliance with any other City requirements, including building codes.
7. Adequate means for fire and emergency vehicle access to shipping containers shall be provided.
8. Containers may not be stored in a manner that impedes access to public right-of-way, public utility or drainage easements, adjacent structures, and buildings, etc.
9. All shipping containers must be placed on a surface capable of sustaining vehicle and foot traffic loads without the formation of muddy or soft conditions. These surfaces may include concrete, asphalt, gravel, paving stones, or other similar durable, non-biodegradable materials.

C. Materials Stored: Materials stored inside the container shall be normal personal household items when used in residential zoning districts. No commercial or business products, equipment or materials shall be stored in a container unless said container is located in commercial or industrial zoning and labeled appropriately.

- D. **Screening and Landscaping:** The perimeter of the area on which containers are placed shall be screened from adjoining properties and from the street. Screening may consist of existing vegetation, new vegetation, fencing, berms, or other on-site structures that significantly obscure the visual presence of the container from off-site locations. The container shall not be predominantly visible from any public street or from any residential property.
- E. **Setbacks and Separation distance (Commercial/Industrial):** Containers shall be setback a minimum of 20 ft. from the property lines. When adjacent to an existing residential property, containers shall be at least 50 ft. feet from the property line.
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 1. The maximum size of all containers on any zoned lot at any one time shall be 2,720 cubic feet. (this will allow for two containers measuring 20'x8'x8.5').
 2. The maximum number of containers on any zoned lot at any one time shall be two.
 3. Shipping containers are allowed for a maximum period of 30 days. Time extensions of up to an additional 30 days may be approved by the Code Enforcement Official, Public Works Director and/or the Community Development Director.
 4. Storage containers shall not be positioned or located in the yard and shall not be placed in the public right-of-way, easement, public street or any public property without prior written permission from the City.
 5. All shipping containers must be placed on a hard surface. Such hard surface must be a solid surface capable of preventing the growth of grass or weeds and capable of sustaining vehicle and foot traffic loads without the formation of muddy or soft conditions. These surfaces may include concrete, asphalt, gravel, paving stones, or another similar durable, non-biodegradable materials.
 6. No shipping container can be placed in such a way that it blocks visibility for motorists, or otherwise presents a safety hazard, in the judgment of the Code Enforcement Official, Public Works Director and/or the Community Development Director.

Section III: This ordinance shall be in full force and effect after passage and publication in the official city newspaper.

Approved by the Governing Body and signed by the Mayor on this ___ day of _____, 2026.

Thomas A. Stephens, Mayor

ATTEST:

Christina Brake, CMC, City Clerk

(SEAL)

Memorandum

Date: June 8, 2026
To: Mayor and City Council
From: Mark Lee

Subject: Rezoning – BSRZ-03-26 – 14150 Minnesota Avenue (PTS Consulting)

Recommendation: Staff recommends approval of the zoning with nine (9) stipulations. At the May 19th, 2026 meeting, the Planning Commission, by a unanimous 6-0 vote, recommended approval to the Governing Body.

Action: Make a motion to approve an ordinance allowing for the requested rezoning of 14150 Minnesota Avenue.

Background: The owner/operator of PTS Consulting, LLC (14130 Minnesota Avenue) has recently purchased the property at the corner of N. 142nd Street and State Avenue – 14150 Minnesota Ave – and are requesting a rezoning for the property. This rezoning coincides with the other 2 adjoining parcels that front along State Avenue, one of which is currently owned by PTS Consulting, the other being owned by Pendergraft Erection Services; both properties being zoned as LI; Light Industrial.

Discussion: Staff's report and the draft meeting minutes are attached.

Financial Impact:

City of Bonner Springs Agenda Item Cover Sheet

Agenda Item No.

BSRZ-03-26
REZONING

Topic: PUBLIC HEARING - Rezoning – BSRZ-03-26 – 14150 Minnesota Avenue (PTS Consulting)
- Consider a request for approval of a zoning change from GR (General Residential) to a zoning category of LI (Light Industrial District) for the above mentioned.

Narrative:

The owner/operator of PTS Consulting, LLC (14130 Minnesota Avenue) have recently purchased the property at the corner of N. 142nd Street and State Avenue – 14150 Minnesota Ave – and are requesting a rezoning for the property. This rezoning coincides with the other 2 adjoining parcels, one of which is currently owned by PTS Consulting, the other being owned by Pendergraft Erection Services; both properties being zoned as LI; Light Industrial.

Presented by:

Mark Lee – Community Development Director

Staff Recommendation:

Staff recommends the Planning Commission **APPROVE** the requested zoning change for 14150 Minnesota Avenue from GR; General Residential, to LI; Light Industrial.

Attachments:

Staff Report (6pgs)

Current zoning areas (included within staff's report)

Site Plan Rendering (11x17)

REQUEST FOR APPROVAL OF A ZONING CHANGE FROM GR; GENERAL RESIDENTIAL TO THE ZONING CATEGORY OF LI; LIGHT INDUSTRIAL FOR 14150 MINNESOTA AVENUE.

MEETING DATE: May 19, 2026
REPORT WRITTEN: April 23, 2026
APPLICATION #: BSRZ-03-26

APPLICANT:

- Riad Baghdadi on behalf of PTS Consulting
11661 College Blvd. Suite 104
Overland Park KS 66210

ENGINEER/SURVEYOR:

- RB Architecture, Engineering, Construction
Same as above

REQUEST:

The applicant is requesting approval of a zoning change from GR (General Residential) to a zoning category of LI (Light Industrial District) for the above-mentioned address.

BACKGROUND:

The owner/operator of PTS Consulting, LLC (14130 Minnesota Avenue) have recently purchased the property at the corner of N. 142nd Street and State Avenue – 14150 Minnesota Ave – and are requesting a rezoning for the property. This rezoning coincides with the other 2 adjoining parcels that front along State Avenue, one of which is currently owned by PTS Consulting, the other being owned by Pendergraft Erection Services; both properties being zoned as LI; Light Industrial.

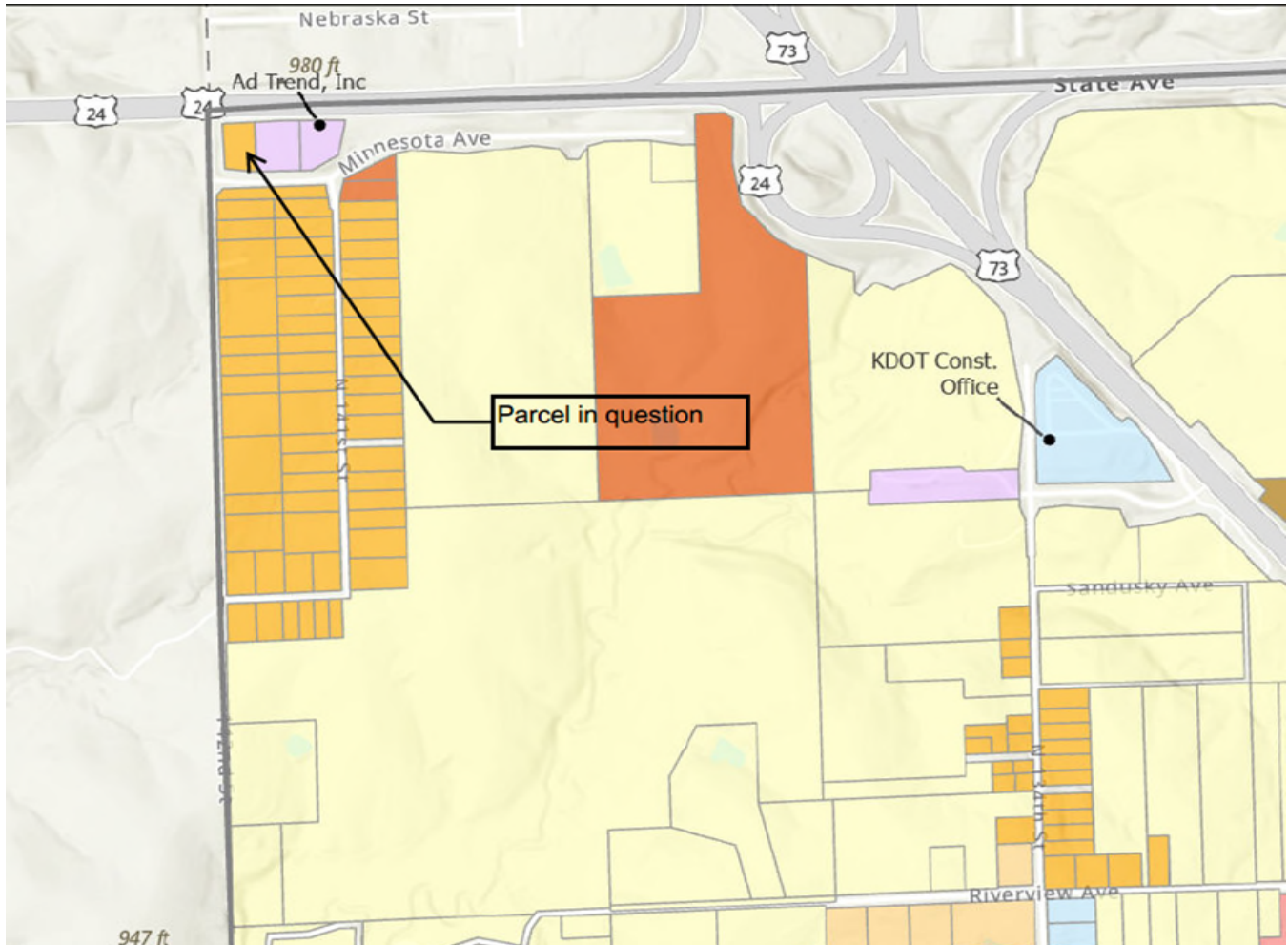
COMPREHENSIVE PLAN/FUTURE LAND USE MAP:

The 2025 and Beyond Comprehensive Plan Future Land Use Map currently designates this property as Mixed-Use. This designation seems odd to Staff as the area is currently developed in an industrial manner and has been since the early 1970's, staff cannot tell from past aerial images.

THE ZONING AND USES OF THE PROPERTY NEARBY –

- North CP-3; Planned Commercial District (KCK Zoning)
Vacant Land, Proposed Stadium Location
- South GR; General Residential – Larger Lot Residential
- West Wyandotte County Boarder/Bonner Springs City Limits – Vacant Land
- East LI; Light Industrial – existing PTS Consulting facility

THE CURRENT ZONING CONFIGURATION:



REZONING:

Section 2.03.A.2.b of the Bonner Springs Zoning Regulations and the *Golden* case, the factors to be used in determining approval or denial of an application for rezoning are as follows:

- The compatibility of the existing and proposed zoning conditions to the Comprehensive Plan;
- The character of the neighborhood or built environment surrounding the affected property;
- The compatibility of the zoning and allowed uses of surrounding properties;
- The suitability of the affected property to its existing and proposed zoning conditions;
- The extent to which removal or alteration of the existing zoning designation will negatively impact nearby property;
- The impact on the general health, safety, and welfare of the public caused by the existing and proposed zoning conditions;
- The professional recommendations of the City's staff and Development Review Team;
- The availability and adequacy of required public improvements to serve the existing and proposed zoning conditions.
- The impacts the proposed zoning condition will have on the built and natural environment, including but not limited to storm water runoff, water, air, and noise pollution, lighting, or other adverse impacts; and
- The ability of the affected Parcel to satisfy the subdivision regulations and Development Standards of these regulations under the proposed zoning conditions.

The compatibility of the existing and proposed zoning conditions to the Comprehensive Plan–

The 2025 and Beyond Comprehensive Plan Future Land Use Map currently designates this property as Mixed-Use. This designation seems odd to Staff as the area is currently developed in an industrial manner and has been since the development began in the early 1970's. Staff feels as though this Mixed-Use designation is erroneous.

This Future Land Use designation states the following –

The vision for Mixed-Use Commercial entails a traditional feel with a compact, vibrant setting at a pedestrian scale with a mix of uses including businesses, services, shopping, recreational opportunities, and residential. The most prominent mixed-use commercial areas will have an urban residential character that will support mixed use, provided the scale, location and design is compatible with the character and intensity of the neighborhood.

The Comprehensive Plan encourages that walkable, mixed-used neighborhoods be incorporated into Bonner Springs new developments. These developments are intended to consist of a variety of residential uses, civic, cultural, retail, commercial and business uses, and professional offices and financial institutions in a compact, vibrant setting at a pedestrian friendly scale. They shall be designed to include a network of direct and interconnected streets, pedestrian, and bicycle connections. Mixed-use areas should be internally served by a system of collector and local streets, as well as sidewalks and pedestrian and bicycle pathways.

Developments should contain a focal point or activity center which possess the most intense and largest number of uses. From this activity center uses should become less intense transitioning from commercial to higher density residential to low density residential. The transitioning should be gradual, allowing one area to interface well with the other. Mixed use neighborhoods shall be designed in a manner which protects and preserves natural features of the site, including mature stands of trees, wetlands, drainages, or ridgelines, as open space amenities that serve as identifying or character defining features.

Infill and redevelopment shall be designed in a manner that is sensitive to and reflects the character of the surrounding neighborhood. Important design considerations include building scale, mass, roof form, height, and orientation, parking location, lot coverage, architectural character, and landscape elements. As in the existing downtown Bonner Springs area, conversion of upper floors above retail storefronts to office or residential uses is strongly encouraged to reinforce the variety and vitality of the downtown environment. The provision of outdoor dining and seating areas along the sidewalk edge is strongly encouraged, particularly in the city center area, to create activity along the street and increase the overall vitality of the area.

Active, visible uses that encourage pedestrian activity, such as restaurants or retail storefronts, are most appropriate as first floor uses in the core area of the mixed-use area. Offices, residential, or other uses that typically are “closed off” from the street and lend little to the pedestrian atmosphere should be encouraged as upper floor uses in retail areas. Neighborhood streets and access roads should follow the natural contours of topographic features to minimize slope disturbances, maximize scenic views, and conserve natural features and vegetation. Access management shall be provided along arterial streets to limit the number of curb-cuts and maintain traffic carrying capacity and safety.

The character of the neighborhood or built environment surrounding the affected property -

The character of the immediate has not changed over the years since the initial construction in 1972. In older aerial photos, the area was accessed from State Avenue, in 2008 Minnesota Avenue was constructed and access to the facility was changed. Since the mid to late 1980's the area has seen continued growth to the south with large lot residential in tandem with the light industrial uses to the north.



The compatibility of the zoning and allowed uses of surrounding properties -

The property directly to the east is zoned as LI; Light Industrial. The properties directly to the south are zoned as GR; General Residential. These two areas have developed simultaneously with little to no disruption. The compatibility of the zoning and allowed uses is identical to what is in existence today.

The suitability of the affected property to its existing and proposed zoning conditions -

The property; being adjacent to existing industrial uses, is not conducive to develop in a single-family residential manner. Properties directly to the south are separated by Minnesota Avenue and a stretch of property that is undevelopable and owned by the Wyandotte County LandBank. The property is suited to become light industrial.

The extent to which removal or alteration of the existing zoning designation will negatively impact nearby property -

The zoning classification of which is being requested is industrial in nature and will be the same as those properties directly east and abutting State Avenue. Properties on the south side of Minnesota Avenue are large lot single family residential. The two uses have developed harmoniously since the mid-1980's.

The Length of Time the Property has Remained Vacant as Zoned –

The property, is currently vacant undeveloped land and has been that way as far back as staff can find in aerial images.

The Extent to which Removal of the Present Zoning will Detrimentially Affect Nearby Property –

The removal of the existing zoning as General Residential will not affect nearby properties. The properties fronting along State Avenue are zoned as Light Industrial and have been since their inception. The parcels to the south of Minnesota Avenue have developed in a residential manner simultaneously.

The impact on the general health, safety, and welfare of the public caused by the existing and proposed zoning conditions –

The property sitting vacant today has no impact, positive or negative, on the to the general public. This rezoning, if denied, would create a hardship upon the property owner, as it would restrict their ability to develop the property as proposed and include it within their current operations that reside on the neighboring property.

The professional recommendations of the City’s staff and Development Review Team –

Staff recommends approval of the requested rezoning.

The availability and adequacy of required public improvements to serve the existing and proposed zoning conditions -

Utilities are present in the area, there is a large 12” watermain along Minnesota, the facility will be on private sewage disposal system (septic), electrical power, gas service and other utilities should be present in the area as well.

The impacts the proposed zoning condition will have on the built and natural environment, including but not limited to storm water runoff, water, air, and noise pollution, lighting, or other adverse impacts –

Storm-water run-off will be captured in one of several manners, with the addition of the new facility on the existing PTS property a ‘rain-garden’ infiltration and stormwater management system was constructed. Regulations regarding stormwater run-off dictate that post-construction run-off rates shall not exceed pre-construction rates. Air and noise pollution should be kept to a minimum and not exceed activities levels that are currently in existence and lighting standards in place should alleviate the majority of light pollution.

The ability of the affected Parcel to satisfy the subdivision regulations and Development Standards of these regulations under the proposed zoning conditions –

The proposed use is able to meet the applicable ordinance requirements and development standards.

STAFF RECOMMENDATION:

Staff recommends the Planning Commission **APPROVE** the requested zoning for 14150 Minnesota Avenue from GR; General Residential to LI; Light Industrial with the stipulations listed below.

- A Storm Water Management Study shall be prepared and provided to the City for review and approval prior to commencement of the project.
- A preliminary and final plat adhering to the requirements of the Bonner Springs Unified Development Ordinance shall be submitted and approved by the City prior to building permits being issued, this plat should include both properties owned by PTS Consulting whether combined or kept separate.

- The applicable plat shall be reviewed and approved by City Staff, Unified Government Staff and any other pertinent review parties.
- A Site and Landscape Plan shall be provided and reviewed for approval as stated in the Unified Development Ordinance.
- Developer shall be responsible for the extension of services including but not limited to, water and/or other public utilities as required by the City of Bonner Springs.
- Any and all applicable construction drawings shall be submitted to the City for review and approval prior to site improvements commencing.
- Building permits shall be applied for and issued for any improvements or construction projects for which they are required.
- In addition to the recommendations/stipulations listed within this staff report, the property owner agrees to abide by the Unified Development Ordinance of the City of Bonner Springs when applicable.
- Once reviewed and approved the plat shall be filed with the Wyandotte County Register of Deeds with one copy being returned to City Hall for filing.

If approved, this item will move to the Governing Body; the request will be presented at the June 8th, 2026 regular meeting for final action.



City of Bonner Springs

KANSAS

Planning Commission Minutes - Regular Meeting - May 19, 2026

PLANNING COMMISSION MEETING - 6:30 PM -

CALL TO ORDER - ROLL CALL - Chair Greg Gabauer called the meeting to order at 6:30 p.m. The Community Development Director, called roll. Sherri Neff was present via teams. Paul Zeps was absent. Jason Cruse arrived at 6:34 p.m., a quorum was present.

CONSENT AGENDA -

Approval of minutes from the April 21, 2026 meeting

- Vincent Bombardier motioned Nick Perica seconded to approve the April 21, 2026 Planning Commission Meeting minutes as published. The motion passed unanimously 5-0.
Jason Cruse arrived after the vote had taken place.

OLD BUSINESS -

NEW BUSINESS -

PUBLIC HEARING - Rezoning – BSRZ-03-26 – 14150 Minnesota Avenue (PTS Consulting) - The Community Development Director, Mark Lee, presented the staff report for BSRZ-03-26 - 14150 Minnesota Ave for rezoning. Chair Lloyd Mesmer motioned and Greg Gebauer opened the public hearing at 6:33 p.m. Vincent Bombardier asked if this was a septic system and not a sewer? Will they be handling chemicals for pharmaceuticals?

Riad Badhdudi, 11661 College Blvd. Overland Park, KS Architect for PTS Consulting, said no, it would be strictly warehouse storage.

Sherri Neff asked if everything was to be contained and is that going to stay that way? Riad Badhdudi said yes, it is.

Chair Lloyd Mesmer motioned and Greg Gabauer closed the public hearing at 6:37 p.m.

Lloyd Mesmer motioned and Nick Perica seconded to approve the rezoning of BSRZ-03-26 - 14150 Minnesota Ave. for PTS Consulting.

The motion unanimously passed 6-0. The item will go to the City Council meeting on June 8th.

OPEN AGENDA -

COMMUNITY DEVELOPMENT DIRECTORS REPORT - Vincent Bombardier asked about the collaborative priorities. Mark Lee stated that the Nettleton extension and sewer extension received \$1 million from the state. The city is talking to Block and the Quarry about the right of way for a new main that would run through their property.

Mark Lee, Community Development Director gave an update on current building projects.

120 apartments are moving along well.

Sandstone Town homes have 4 buildings left to finish.

Senior Villas are hoping to be available by the end of October.

Bungalows may start by the end of the year.

Mattel has job trailers on site and needs temporary water until they can get hooked up to KCK main.

ADJOURNMENT - Chair Greg Gebauer adjourned the meeting at 6:48 p.m.

ORDINANCE NO. _____

An Ordinance to Approve BSRZ-03-26 – Request to rezone 14150 Minnesota Avenue from RR; Rural Residential to LI; Light Industrial for PTS Consulting, LLC.

Be it Ordained by the Governing Body of the City of Bonner Springs, Kansas:

Section I: That the Zoning classification on the Official Zoning Map be amended for the following described as: A TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 11 SOUTH, RANGE 23 EAST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF BONNER SPRINGS, WYANDOTTE COUNTY, KANSAS, SAID TRACT BEING MORE PARTICULARLY DESCRIBED, AS FOLLOWS:

COMMENCING AT 110.24 FEET SOUTH & 283.7 FEET EAST OF THE NORTHWEST CORNER; THEN SOUTH 320.36 FEET, WEST 9 FEET MORE OR LESS, THENCE NORTH 84° WEST - 184.39 FEET, THEN NORTH 289.76 FEET, NORTH 87° EAST - 200.41 FEET TO THE POINT OF BEGINNING. CONTAINING 1.4AC M/L.

Be **rezoned** from RR; Rural Residential to LI; Light Industrial Zoning classification per BSRZ-03-26 be approved with the following nine (9) stipulations:

1. A Storm Water Management Study shall be prepared and provided to the City for review and approval prior to commencement of the project.
2. A preliminary and final plat adhering to the requirements of the Bonner Springs Unified Development Ordinance shall be submitted and approved by the City prior to building permits being issued, this plat should include both properties owned by PTS Consulting whether combined or kept separate.
3. The applicable plat shall be reviewed and approved by City Staff, Unified Government Staff and any other pertinent review parties.
4. A Site and Landscape Plan shall be provided and reviewed for approval as stated in the Unified Development Ordinance.
5. Developer shall be responsible for the extension of services including but not limited to, water and/or other public utilities as required by the City of Bonner Springs.
6. Any and all applicable construction drawings shall be submitted to the City for review and approval prior to site improvements commencing.
7. Building permits shall be applied for and issued for any improvements or construction projects for which they are required.
8. In addition to the recommendations/stipulations listed within this staff report, the property owner agrees to abide by the Unified Development Ordinance of the City of Bonner Springs when applicable.
9. Once reviewed and approved the plat shall be filed with the Wyandotte County Register of Deeds with one copy being returned to City Hall for filing.

Section II: This ordinance shall be in full force and effect after passage and publication in the official city newspaper.

Approved by the Governing Body and signed by the Mayor on this ___ day of _____, 2026.

Thomas A. Stephens, Mayor

ATTEST:

Christina Brake, CMC, City Clerk

(SEAL)

Memorandum

Date: June 8, 2026
To: Mayor and City Council
From: Megan Gilliland

Subject: Resolution to Amend and Extend Industrial Revenue Bonds for Bonner Springs Villas

Recommendation: Make a motion to adopt a resolution extending the termination date of the original Resolution of Intent to December 31, 2026.

Action: Staff and Bond Counsel recommend approval.

Background: In March 2024, the City Council approved a Resolution of Intent (Resolution No. 2024-04) to provide IRBs for the Bonner Springs Villas Senior Housing project at 132nd and Kansas Avenue. This project consists of 48 apartment units that will be available for 55+ housing in Bonner Springs. The previous resolution is set to expire on July 1, 2026. The developer has requested to extend the Resolution of Intent to December 31, 2026 to allow for the project to reach completion. The project is set to finish in fall 2026 and be available for occupancy later this year.

Discussion: The Governing Body has already issued the original Resolution of Intent to provide industrial revenue bonds in the maximum principal amount of \$15,000,000 for the purpose of financing the costs of acquiring, constructing, and equipping a multifamily senior living project comprised of approximately 48 units, including land, buildings, improvements, and equipment. This action tonight is to amend the date of the bonds to December 31, 2026.

Financial Impact: This action does not impact the City in an adverse financial action.

RESOLUTION NO. 2026-____

A RESOLUTION AMENDING RESOLUTION NO. 2024-04 PREVIOUSLY ADOPTED BY THE GOVERNING BODY OF THE CITY OF BONNER SPRINGS, KANSAS, DETERMINING ITS INTENT TO ISSUE ITS TAXABLE INDUSTRIAL REVENUE BONDS IN THE MAXIMUM PRINCIPAL AMOUNT OF \$15,000,000 FOR THE PURPOSE OF FINANCING THE COSTS OF ACQUIRING, CONSTRUCTING, AND EQUIPPING A MULTIFAMILY SENIOR LIVING PROJECT LOCATED WITHIN THE CITY (BSV PROJECT, PHASE 1).

WHEREAS, the City of Bonner Springs, Kansas (the “City”), desires to promote, stimulate and develop the general welfare and economic prosperity of the City and its inhabitants and to further promote, stimulate and develop the general welfare and economic prosperity of the State of Kansas (the “State”);

WHEREAS, the City is authorized and empowered under the provisions of K.S.A. 12-1740 to 12-1749d, inclusive, as amended (the “Act”), to issue industrial revenue bonds to pay the cost of certain facilities (as defined in the Act) for the purposes set forth in the Act and to lease such facilities to private persons, firms or corporations;

WHEREAS, pursuant to Resolution No. 2024-04 of the City, adopted on March 25, 2024 (the “Original Resolution of Intent”), the Governing Body of the City determined its intent to issue its taxable industrial revenue bonds in the maximum principal amount of \$15,000,000 (the “Bonds”) for the purpose of financing the costs of acquiring, constructing, and equipping a multifamily senior living project comprised of approximately 48 units, including land, buildings, improvements, and equipment (the “Project Improvements”), generally located southwest of Kansas Highway 7 and Kansas Avenue (the “Project Site”) within the City, all pursuant to the Act;

WHEREAS, the Project Site and the Project Improvements are herein collectively referred to as the “Project”;

WHEREAS, the City will lease the Project to BSV, LP, a Kansas limited partnership (the “Company”);

WHEREAS, in accordance with the terms of Section 8 of the Original Resolution of Intent, such Resolution shall terminate on July 1, 2026;

WHEREAS, the Project is not yet completed, and the Company is not ready to issue the Bonds; and

WHEREAS, the Governing Body, at the request of the Company, desires to amend the Original Resolution of Intent to extend the termination date to December 31, 2026.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF BONNER SPRINGS, KANSAS, AS FOLLOWS:

Section 1. Amendment to Original Resolution of Intent. Section 8 of the Original Resolution of Intent is hereby deleted in its entirety and replaced with the following:

Section 8. Effective Date. This Resolution shall take effect and be in full force immediately after its adoption by the Governing Body of the City and shall remain in effect until December 31, 2026.

Section 2. Effectiveness of Original Resolution of Intent. Except as amended herein, all other provisions in the Original Resolution of Intent are hereby ratified and shall remain in full force and effect.

Section 3. Effective Date. This Resolution shall take effect and be in full force immediately after its adoption by the Governing Body of the City. This Resolution shall be of no effect and shall be null and void on December 31, 2026, in the event the Bonds have not been issued by such date.

[Remainder of Page Intentionally Left Blank]

ADOPTED by the City Council of the City of Bonner Springs, Kansas, on June 8, 2026.

CITY OF BONNER SPRINGS, KANSAS

(Seal)

By _____
Thomas A. Stephens, Mayor

ATTEST:


Christina Brake, City Clerk

City Manager's Update

Date: June 4, 2026

To: Mayor and City Council

GENERAL:

- **Juneteenth Holiday Closure:** City offices will be closed Friday, June 19th for the Juneteenth Holiday. Trash collection will not be affected by this holiday.
 - **City Dumpster Day:** Dumpster Day was a huge success! Though it was rainy, we had over 173 vehicles/loads of trash dropped off with 19 city volunteers helping to make the day run smoothly. We filled 9 of 10 dumpsters and both of the metal recycling containers removing almost 25 tons of trash from our community. The trash removed totaled 40,220 pounds (20.11 tons), the metal removed totaled 9,140 pounds (4.57 tons). The money from the metal recycling with Kaw Valley Companies will be donated back to the community through the Parks and Recreation Foundation.
 - **Solid Waste:** The updated collection calendar is attached along with the missed collection report through April 2026.
 - **Employee Recognition:** This month, we recognized Lesley Lard, Assistant Director with the Library. Lesley started at the library 2013 as our Children's Librarian, coming to us from the Mid-Continent Library in Missouri and various libraries in Ohio. She earned her Master's degree in Library Science at Kent State University. In January of this year, she assumed the role of Assistant Director. Along the way, she built a flourishing story time program (the library's bread and butter) and led all of our large, signature programs, including an annual young child fair, the Summer Reading Program, and various holiday events. It's a delight to recognize all of this work, her willingness to step into a leadership role, and such competence all around!
- 
- **Centennial Park Extension Groundbreaking:** Please join us at Centennial Park on June 15th at 1:30pm to celebrate the groundbreaking of the Centennial Park extension.
 - **Upcoming Events:** Several flyers are attached with upcoming event information.
 - **Finance Director job posting:** Tillie LaPlante has announced she is retiring from the City this Fall after 36 years of service. Due to the position type, we will be posting this position this month and take applications for 30 days. We are starting the process early so there is overlap for training.

LIBRARY:

- **Advanced Voting Location:** The Library will serve as an Advanced Voting location for the 2026 Primary and General Elections. Advanced Voting for the Primary Election will be Saturday, July 25th - Saturday, August 1st. Advanced Voting for the General Election will be Saturday, October 17th - Saturday, October 31st. Times will be determined at a later date.
- **Farmers' Market** 8:00 to 12:00 every Saturday through October

Visit the library's website [HERE](#) for details on upcoming events.

PUBLIC WORKS:

Municipal Maintenance Services:

- Removed a hazardous tree at the Fire Station entrance.
- Completed erosion control and stabilization improvements at Lift Station No. 5.
- Sprayed weeds at lift stations and along Spring Creek.
- Assisted with Aquatic Center opening preparations, including installation of a new ADA pool chair and repairs to pool deck concrete and tile.
- Oversaw installation of a new roof on the Centennial Park gazebo.
- Completed improvements at Centennial Park, including a decorative fence, landscape bed construction, and pressure washing of park amenities.
- Seasonal staff began summer operations and completed orientation and work assignments.

Utility Operations:

- Repaired a water main leak on North Neconi.
- Installed drainage improvements and protective fencing at new Vehicle Storage Building.
- Continued water system infrastructure improvements through fire hydrant and valve replacement projects.
- Completed fire hydrant testing for ISO study
- Initiated the Lead and Copper Rule sampling cycle and prepared customer notification letters and sample kits.
- Began maintenance activities to remove crystal buildup from the sodium bisulfite storage system.
- Completed electrical connections and anchoring of the new belt press.
- Replaced the wastewater treatment plant water heater.

GROUNDBREAKING CENTENNIAL PARK EXTENSION





June 15, 2026
1:30 P.M.



CENTENNIAL PARK
126 Cedar, Bonner Springs



City of Bonner Springs
KANSAS



SHINER
HOLDINGS



Bonner Springs
Edwardsville
Real Developer of Communities



**YOU'RE
INVITED!**



SUMMER CONCERT SERIES

**Centennial Park
Downtown Bonner Springs**



**Food Trucks!
Free admission!**



City of Bonner Springs
KANSAS

**Thursday, July 2 | 6-9:30 p.m.
Fast Times**





**GRAND
RE-OPENING**

GRIP 'N' RIP

611 W. 2ND St. Bonner Springs, KS 66012

JUNE 10, 2026
4:00 PM



**BUENOS AIRES IN
BONNER SPRINGS**

Experience a taste of Argentina by local Chef Stephanie Cashion.

Join us ahead of the Argentina vs. Algeria match on June 16 for the local tastes of Argentinian Local chef Stephanie Cashion will be crafting authentic Argentinian food to celebrate Kansas City's first World Cup match. Dinner served from 4:00-8:00 p.m. with cocktails and a special menu available during the match! We will have the game on, too!

June 16 | 4-8 p.m.
The Glass Cat
11657 Kaw Dr.
Bonner Springs, Kansas




*The Bonner Springs - Edwardsville Area
Chamber of Commerce Invites You!*

**BUSINESS APPRECIATION
LUNCHEON**

THURS. 6/18/26 AT 11:30 AM
*The National Agricultural Hall of Fame - Red Barn
630 N. 126th St., Bonner Springs, KS 66012*

Let us treat you to a complimentary lunch! We will hear from the Mayors of Bonner Springs & Edwardsville. Plus, you'll have the opportunity to meet other businesses in both communities! We'd love to showcase business & community partnerships.

Call Emily Blanks, Executive Director,
to RSVP @ 913.626.2998

BONNER SPRINGS NAACP

JUNE TEENTH

COMMUNITY PICNIC

SATURDAY, JUNE 20TH
1:00-3:00 PM

Celebrate Freedom Day with music, food, culture, line dancing and more. Nurses will also be there to check vitals and encourage healthy living. Open to the community.

Lions Park Gazebo
300 W Morse Ave
Bonner Springs, KS



PLEASE JOIN US FOR OUR

FISH FRY

FUNDRAISER EVENT

Supporting the Jerry Lee Jarrett Life Center

LOCATION:
143 West Insley
Bonner Springs, KS 66012

SATURDAY, JUNE 27, 2026
11:00 AM – 3:00 PM (OR UNTIL SOLD OUT)

SPONSOR A TABLE: \$150.00 (Includes 10 fish dinners)

MENU:	
FISH DINNER \$15.00 Includes choice of 2 SIDES: Green beans, spaghetti, or coleslaw	SHRIMP & FRIES \$18.00
	CHICKEN STRIPS & FRIES \$12.00

★ ADDITIONAL SIDES AVAILABLE FOR \$2.00 EACH ★

PRE-ORDERS & TABLE SPONSORSHIPS MUST BE PAID BY JUNE 12, 2026

DINE-IN OR CARRY-OUT AVAILABLE
Come hungry & support a great cause!

For questions, please contact:
Olliea: 913-400-1188 | Melva Jarrett: 913-449-5265

DONATIONS GREATLY APPRECIATED!

BONNER BLAST

THURSDAY, JULY 2

9:45 P.M.
FIREWORKS
DISPLAY

FOOD TRUCK FESTIVAL
LIVE MUSIC & FIREWORKS
FREE PARKING & SHUTTLE FROM HIGH SCHOOL

CENTENNIAL PARK
DOWNTOWN
BONNER SPRINGS
200 CEDAR
6-10 P.M.





BONNER BLAST

THURSDAY, JULY 2 | 6-10 P.M.

JOIN US AT THE GLASS CAT FOR AN INCREDIBLE VIEW OF THE BONNER BLAST FIREWORKS.

9:45 P.M. FIREWORKS DISPLAY

DRINK SPECIALS & FOOD

July 2 | 6-10 p.m.
The Glass Cat
11657 Kaw Dr.
Bonner Springs, Kansas



VAUGHN-TRENT COMMUNITY SERVICES

HOT DOG Party Bash!

JOIN US FOR A DELICIOUS LUNCH TO HELP RAISE FUNDS FOR THE PANTRY!

JULY 10
11 AM - 1 PM

\$10 SUGGESTED DONATION



300 OAK STREET

UBT Union Bank & Trust, Walmart, MUTUAL SAVINGS ASSOCIATION

CAR SHOW KIDS CARNIVAL FOOD TRUCKS 150+ VENDORS LIVE MUSIC

BONNER SPRINGS-EDWARDSVILLE CHAMBER PRESENTS

2026 TIBLOW DAYS FESTIVAL

27 - 29 AUGUST | DOWNTOWN BONNER SPRINGS



SUMMER CONCERT SERIES

Centennial Park
Downtown Bonner Springs

Food Trucks!
Free admission!

City of Bonner Springs
KANSAS

TIBLOW DAYS

Friday, August 28
The M80s

Friday, August 29
Will Moseley

THE BONNER SPRINGS-EDWARDSVILLE AREA CHAMBER OF COMMERCE INVITES YOU TO SAVE THE DATE!

GOLF

TOURNAMENT FUNDRAISER

9/30/26 @ 9 AM

Dub's Dread - 12601 Hollingsworth Rd. KCK, 66109

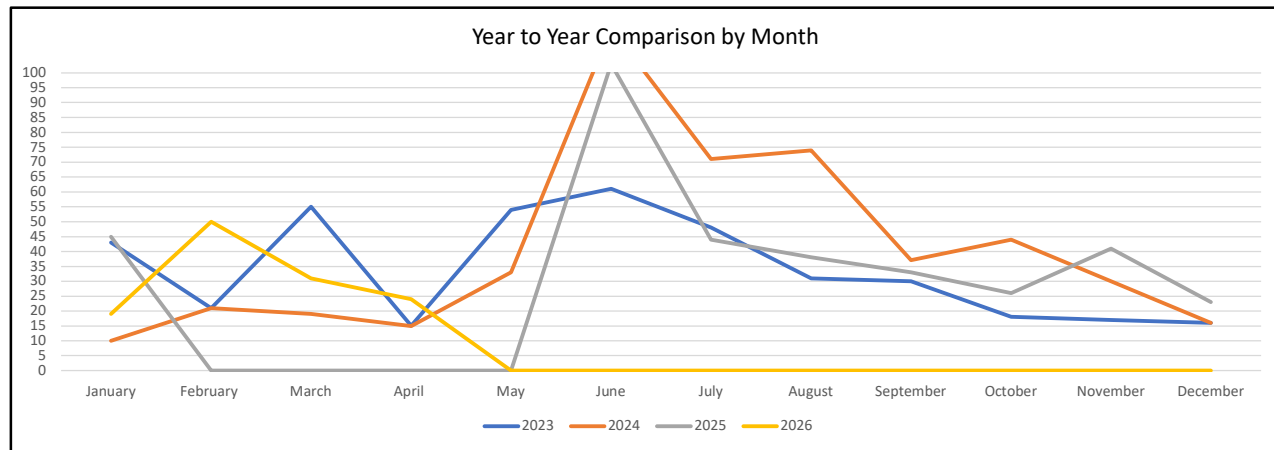
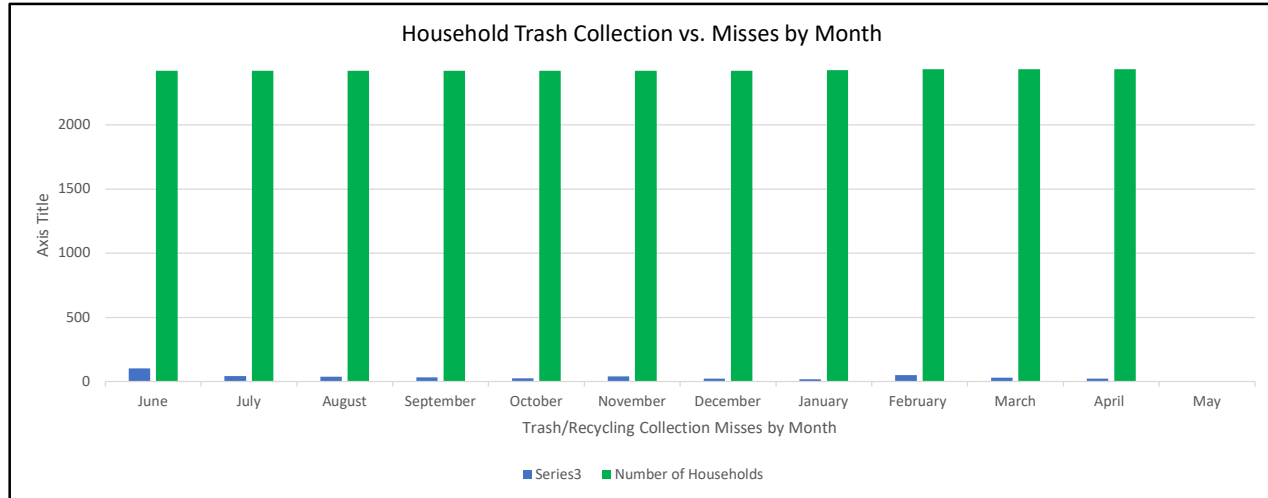
TEAMS & PARTNERSHIPS AVAILABLE: 913.626.2998

INFORMATION: [BSEDWCHAMBER.ORG/GOLF-TOURNAMENT](https://www.bsedwchamber.org/golf-tournament)

2025-2026

Month	Total	Non duplicated reports*	percentage
June	2421	103	4.25%
July	2421	44	1.82%
August	2421	38	1.57%
September	2421	33	1.36%
October	2421	26	1.07%
November	2421	41	1.69%
December	2421	23	0.95%
January	2426	19	0.78%
February	2432	50	2.06%
March	2432	31	1.27%
April	2432	24	0.99%
May	0	0	#DIV/0!
Annual total	26669	308	12.72%
Annual Ave	2421	44	1.82%

* Duplicated reports are ones that the resident reported the miss multiple times in one day or one pick-up cycle. They may have called WM and then called us or they may have called multiple times for the same miss.



ONGOING/PENDING PLANNING PROJECTS

2026 PENDING PLANNING PROJECTS

Case No.	Application Date	Project Name	Address	Project Type	Review Process(es)	Project Status	Board of Zoning Appeals	Approved/ Denied	Planning Commission	Approved/ Denied	Governing Body	Approved/ Denied	Applicant	Current Zoning or Future Land Use	Requested Zoning	No. Lots	Total Acres
SITE/LANDSCAPE - EARTH CHANGE PERMITS - STAFF REVIEW PROJECTS																	
ST-05-25	December 23, 2025	Bungalows at Bonner Springs	300 S. 130th Street	Site/Landscape Review	SR	PENDING							Advance Acquisitions, LLC	RR/MR	PD-MR	1	
ST-02-26	May 5, 2026	Centennial Park Expansion	117 Oak St	Site and Landscape Plan Review	SR	PENDING							NSPJ Architects	NA	NA	1	
MAY PLANNING COMMISSION - JUNE GOVERNING BODY																	
BSRZ-03-26	April 8, 2026	PTS Consulting	14150 Minnesota Ave	Rezoning	PC/CC	PENDING			May 19, 2026	APPROVED	June 8, 2026	PENDING	PTS Consulting	RR	LI	1	1.3+/-
MC-01-26	NA	Storage Containers	City Wide	Municipal Code	PC/CC	PENDING					June 8, 2026	PENDING	Staff	NA	NA	NA	NA
JULY PLANNING COMMISSION - AUGUST GOVERNING BODY																	
FP-01-26	April 22, 2026	Tiner Acres	901 S. 134th St	Final Plat	PC/CC	PENDING			July 21, 2026	PENDING	August 10, 2026	PENDING	Guy Tiner	RR	RR	6	40+/-
FP-02-26	April 30, 2026	Carter Acres	706 S. 122nd Street	Final Plat	PC/CC	PENDING			July 21, 2026	PENDING	August 10, 2026	PENDING	Edward Carter	RR	RR	2	14+/-
BSRZ-04-26	May 20, 2026	Lynn Valley	13852 Kansas Avenue	Rezoning	PC/CC	PENDING			July 21, 2026	PENDING	August 10, 2026	PENDING	Circle H Land Development, LLC	RR	PD-MR	1	
PP-04-26	May 20, 2026	Lynn Valley	13852 Kansas Avenue	Preliminary Plat	PC/CC	PENDING			July 21, 2026	PENDING	August 10, 2026	PENDING	Circle H Land Development, LLC	RR	PD-MR		
BSCP-01-26		PSP Walkability Plan - Comp Plan Amendment	City Wide	Comp Plan Amendment	PC/CC	PENDING			July 21, 2026	PENDING	August 10, 2026	PENDING	Staff	NA	NA	NA	NA

COMPLETED PLANNING PROJECTS - 2026

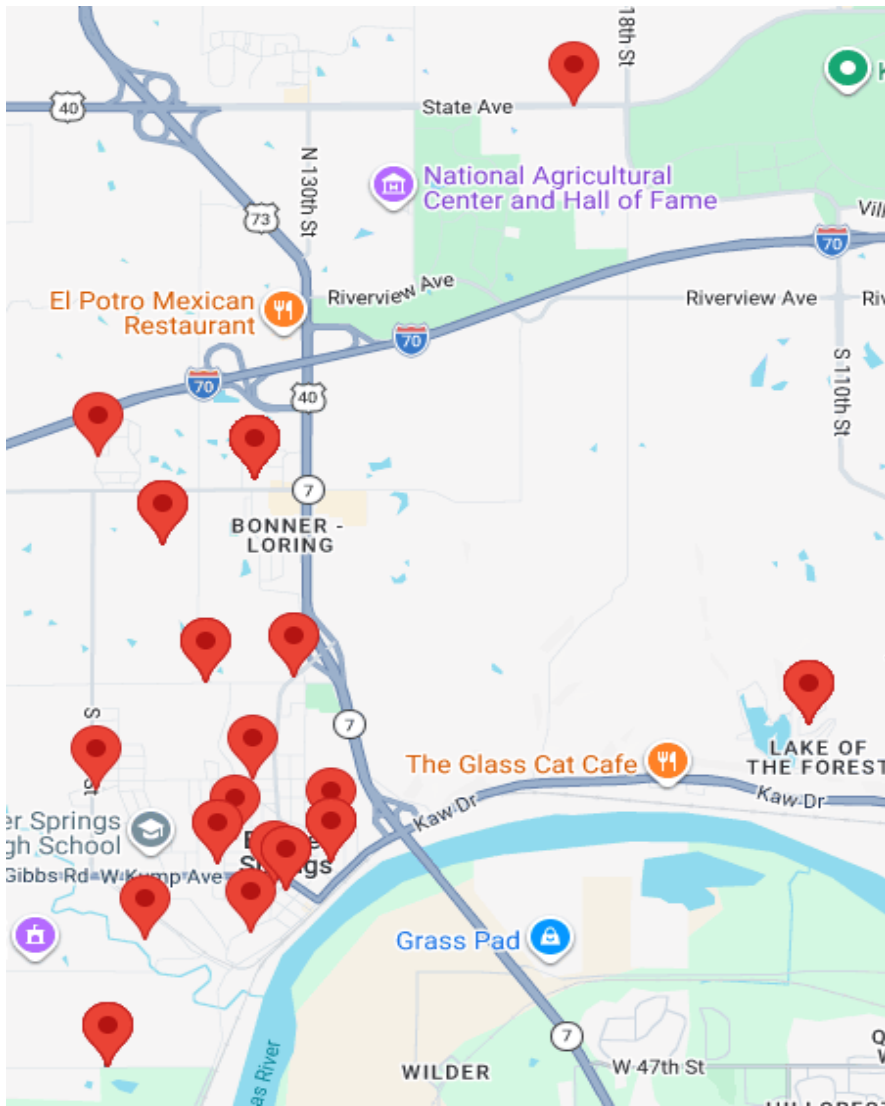
Case No.	Application Date	Project Name	Address	Project Type	Review Process(es)	Project Status	Board of Zoning Appeals	Approved/ Denied	Planning Commission	Approved/ Denied	Governing Body	Approved/ Denied	Applicant	Current Zoning or Future Land Use	Requested Zoning	No. Lots	Total Acres
SITE/LANDSCAPE - EARTH CHANGE PERMITS - STAFF REVIEW PROJECTS																	
ST-03-25	October 9, 2025	OldCastle APG	4201 Powell Dr	Site/Landscape Review	SR	APPROVED							BHC on behalf of Owner - OldCastle	HI	HI	1	34.2+/-
ST-04-25	October 5, 2025	Overland Cabinet	13933 Leavenworth St	Site/Landscape Review	SR	APPROVED							Tom Silovsky on behalf of Owner - OC Real Estate holdings, LLC	LI	LI	1	6.4+/-
MP-01-26	January 5, 2026	Whippoorwill Substation	122 S. 110th St	Minor Plat	SR	APPROVED							Scannell/Evergy	LI			
ST-01-26	March 3, 2026	Family Eye Care	508 Commercial Drive	Site Plan Review	SR	APPROVED							Family Eyecare Center	GC	NA	1	1.4+/-
ST-02-25	September 12, 2025	Ice Vending Machine	608 S. 130th St	Site/Landscape Review	SR	APPROVED								GC	NA	NA	NA
ECP-02-26	April 15, 2026	Dietz Trailers	313 E. Front Street	Earth Change Permit	SR	APPROVED							Dietz Trailers	MR	NA	1	.6+/-
ECP-01-26	February 11, 2026	Destination KCK - Epic Resorts	Multiple addresses	Earth Change Permit	SR	APPROVED							EMAP KC, LLC Destination KCK	ENT	NA		
JANUARY PLANNING COMMISSION - FEBRUARY GOVERNING BODY																	
PP-01-25	November 19, 2025	Bungalows at Bonner Springs	300 S. 130th Street	Preliminary Plat	PC/CC				January 20, 2026	DENIED			Advanced Acquisitions, LLC	RR/MR	PD-MR	1	21.3984+/-
BSRZ-03-25	November 19, 2025	Bungalows at Bonner Springs	300 S. 130th Street	Rezoning	PC/CC				January 20, 2026	DENIED	February 23, 2026	SENT BACK TO PC	Advanced Acquisitions, LLC	RR/MR	PD-MR	2	21.3984+/-
BSCP-02-25	October 6, 2025	Bonner Hills Estates	708 S. 130th St and 709 S. 132nd St	Comp Plan Change	PC/CC	APPROVED			January 20, 2026	APPROVED	February 9, 2026	APPROVED	Guy Tiner	Low-Density Res and High-Density Res.	High-Density Res.	2	10.73+/-
RP-04-25	October 6, 2025	Bonner Hills Estates	708 S. 130th St and 709 S. 132nd St	Replat	PC/CC	APPROVED			January 20, 2026	APPROVED	February 9, 2026	APPROVED	Guy Tiner	GR/MR	NA	2	10.73 +/-
BSRZ-02-25	October 6, 2025	Bonner Hills Estates	708 S. 130th St and 709 S. 132nd St	Rezoning	PC/CC	APPROVED			January 20, 2026	APPROVED	February 9, 2026	APPROVED	Guy Tiner	GR/MR	MR	2	10.73+/-
BZA-01-26	January 5, 2026	Overland Cabinet	13933 Leavenworth St	Setback Variance	BZA	APPROVED	February 17, 2026	APPROVED					Overland Cabinet	LI	NA	1	6.4+/-
BSCP-02-24	June 7, 2024	Epic Resorts - Comp Plan Change	720 N. 118th St	Comp Plan Change	PC/CC	APPROVED			July 16, 2024	APPROVED	February 23, 2026	APPROVED	EMAP KC, LLC Destination KCK	INDUSTRIAL	MX - Mixed Use	1	79 +/-
BSZO-02-25		Floodplain Regulations Update	City Wide	Municipal Code	FEMA/KDA/CC	FEMA APPROVED					February 23, 2026	APPROVED	City Staff	NA	NA	NA	NA
FEBRUARY PLANNING COMMISSION - MARCH GOVERNING BODY																	
BSZO-01-26	NA	Short-Term Rental Regulations	City Wide	UDO Amendment	PC/CC				February 17, 2026	APPROVED	March 9, 2026	SENT BACK TO PC	Staff	NA	NA	NA	NA
MARCH PLANNING COMMISSION - APRIL GOVERNING BODY																	
BSRZ-01-26	January 15, 2026	Bowman	236 Santa Fe Rd	Rezoning	PC/CC	APPROVED			March 17, 2026	APPROVED	April 13, 2026	APPROVED	Jason Bowman	RR	HI	1	0.1945
BSRZ-02-26	October 29, 2024	Destination KCK - Epic Resorts	Multiple addresses	Rezoning	PC/CC	APPROVED			March 17, 2026	APPROVED	April 13, 2026	APPROVED	EMAP KC, LLC	LI/MR/RR	ENT	1	180 +/-
BSRZ-03-26	January 15, 2026	Woods Oil	601 E. Front Street	Rezoning	PC/CC	WITHDRAWN			March 17, 2026	WITHDRAWN	April 13, 2026	WITHDRAWN	Scott Wood	CC	HC	4	
PP-01-25	November 19, 2025	Bungalows at Bonner Springs	300 S. 130th Street	Preliminary Plat	PC/CC	APPROVED			March 17, 2026	APPROVED			Advanced Acquisitions, LLC	RR/MR	PD-MR	1	21.3984+/-
BSRZ-03-25	November 19, 2025	Bungalows at Bonner Springs	300 S. 130th Street	Rezoning/Development Plan	PC/CC	APPROVED			March 17, 2026	APPROVED	February 23, 2026	APPROVED	Advanced Acquisitions, LLC	RR/MR	PD-MR	2	21.3984+/-
APRIL PLANNING COMMISSION - MAY GOVERNING BODY																	
BZA-03-26	February 20, 2026	Destination KCK - Epic Resorts	Multiple addresses	Variance	BZA	APPROVED	April 21, 2026	APPROVED					EMAP KS, LLC	ENT	ENT		
BZA-02-26	January 15, 2026	Bowman	236 Santa Fe Rd	Variance	BZA	APPROVED	April 21, 2026	APPROVED					Jason Bowman	HI	HI	1	
EV-01-26	March 4, 2026	East Grandview's New Addition	1781 S. 136th	Easement Vacation	PC/CC	APPROVED			April 21, 2026	APPROVED	May 11, 2026	APPROVED	Ron Domerse	GR	GR	1	
BSZO-01-26	NA	Short-Term Rental Regulations	City Wide	UDO Amendment	PC/CC	APPROVED			April 21, 2026	APPROVED	May 11, 2026	APPROVED	Staff	NA	NA	NA	NA

REPORT OF BUILDING PERMITS ISSUED

ISSUED DATES: 5/1/2026 THRU 5/31/2026

STATUS: OPENED, COMPLETED

TYPE OF PERMIT	NUMBER OF PERMITS
COMMERCIAL NEW/ADDITION.....	1
COMMERCIAL REMODEL.....	1
COMMERCIAL ROOF.....	0
DECK.....	2
DRIVEWAY.....	0
DEMOLITION.....	0
ELECTRICAL.....	2
FENCE.....	4
FIREWORKS.....	1
GENERAL INSPECTION.....	0
MECHANICAL.....	2
OPEN FLAME.....	0
PLUMBING.....	8
POOL, ABOVE GROUND.....	0
POOL, IN GROUND.....	0
RESIDENTIAL ACCESSORY STRUCTURE.....	3
RESIDENTIAL MANUFACTURED MOVE-IN.....	0
RESIDENTIAL NEW/ADDITION.....	2
RESIDENTIAL REMODEL.....	2
RESIDENTIAL ROOF.....	0
RIGHT OF WAY.....	3
SIGN.....	0
TENT.....	1
UTILITIES OFF.....	1
=====	
TOTAL NEW PERMITS.....	33
TOTAL ACTIVE PERMITS.....	116



CODE ENFORCEMENT INCIDENT ACTIVITY REPORT

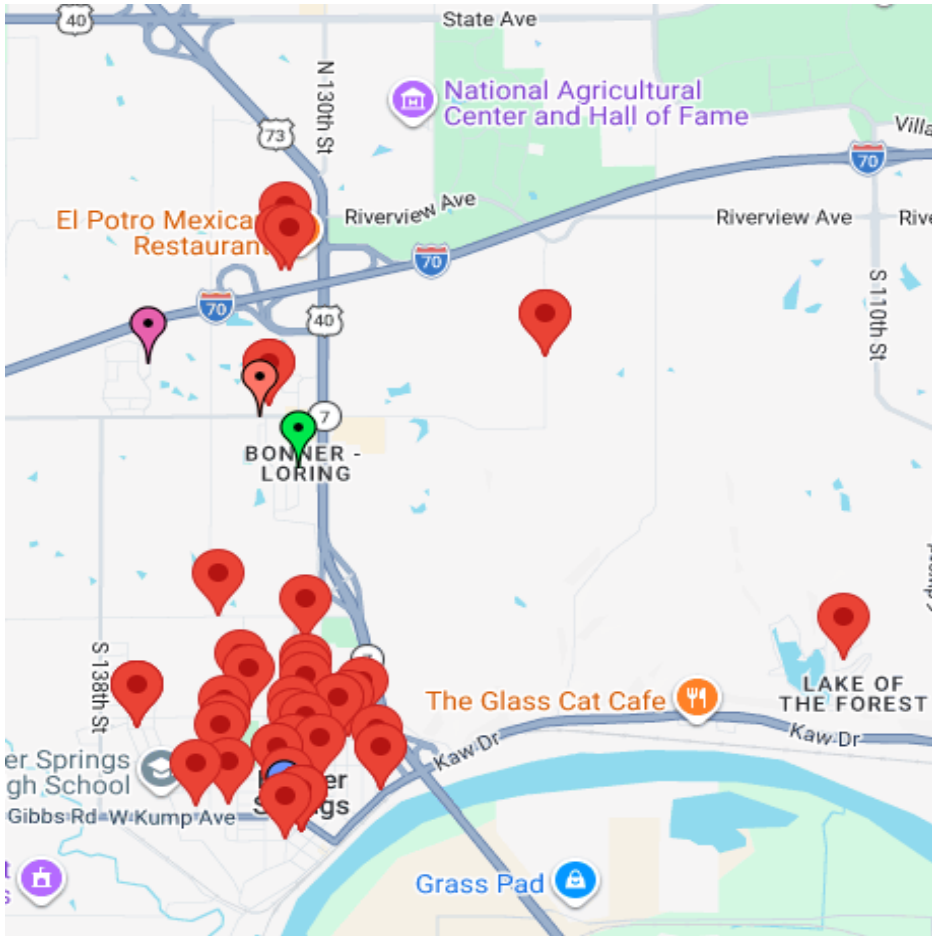
INCIDENT CODE: *-All

USER: mstites

DATES: 5/1/2026 THRU 5/31/2026

	NEW INCIDENTS	RESOLVED/ CLOSED	CUMULATIVE ACTIVE CASES
BRUSH.....	0.....	41.....	1
GENERAL.....	1.....	225.....	5
INOPERABLE/UNLICENSED/ON-GRASS.....	12.....	539.....	35
OUTSIDE STORAGE.....	9.....	438.....	34
PERMIT CHECK.....	5.....	6137.....	0
PROPERTY MAINTENANCE.....	3.....	395.....	10
SIGNS.....	14.....	822.....	0
SNOW & ICE.....	0.....	11.....	0
TALL GRASS/WEEDS.....	23.....	505.....	30
COURT	5.....		
=====			
TOTALS.....	72.....	9113.....	115

Report shows number of locations with multiple violations at many locations; does not include site re-inspections.



Bonner Springs Mayor's Report

Date: June 8, 2026

To: City Council

General

- Participated in the presentation of the Staff Recognition award given to Assistant Director Lesley Lard on 6/3.

Boards

-

Events

- Attended and read a proclamation at the Tennis Open house on 5/27. This event was sponsored by the Park Dept in cooperation with USTA.