



City of Bonner Springs

KANSAS

Tuesday, June 20, 2023

200 East Third Street, Bonner Springs, KS 66012
Bonner Springs City Hall
Council Chambers

PLANNING COMMISSION MEETING - 7:00 p.m.

The meeting is open to the public.

PLANNING COMMISSION MEETING - 7:00 PM

CALL TO ORDER - ROLL CALL

CONSENT AGENDA - APPROVAL OF MINUTES

1. Approval of the May 16, 2023 Planning Commission meeting minutes

Action Approve, Amend or Deny the minutes as provided

Recommendation Approve minutes as presented

Documents:

1. PC Minutes 5.16.23 Draft

OLD BUSINESS

1. Vacation of Easement, Street or Alley Petition - EV-01-23 Alley Vacation

Action Approve, Amend or Deny the request for vacation of existing alley right of way

Recommendation Staff recommends the Planning Commission reopen the public hearing and deny the request

Documents:

1. EV-01-23 Alley Vacation Cover Page

NEW BUSINESS

1. ST-02-23; Site and Landscape Plan for 611 W. 2nd Street - Consider a site and landscape plan for 611 W. Second Street – The Fuel House

Action Approve, Amend or Deny the Site and Landscape Plan as submitted

Recommendation Staff recommends the Planning Commission approve the site plan for 611 W. Second Street with the stipulations listed in the Staff report.

Documents:

1. ST-02-23 - Site and Landscape - 211 W. 2nd St - Staff Report
2. PC Packet Pages
3. FuelHouse garage renderings

OPEN AGENDA

COMMUNITY DEVELOPMENT DIRECTORS REPORT

ADJOURNMENT

Memorandum

Date: June 20, 2023
To: Mayor and City Council
From: Mark Lee

Subject: Approval of the May 16, 2023 Planning Commission meeting minutes

Recommendation: Approve minutes as presented

Action: Approve, Amend or Deny the minutes as provided

Background: Minutes are attached

Discussion: NA

Financial Impact: NA

MINUTES – 5.16.23 – DRAFT
BONNER SPRINGS PLANNING COMMISSION MEETING
Tuesday, May 16, 2023 – Regular Meeting – 7:00 p.m.

=====

The May 16, 2023 Regular Planning Commission Meeting was preceded by a Board of Zoning Appeals
Public Hearing

1. Meeting **CALLED TO ORDER** by Chair Gebauer at 7:51 p.m.

ROLL CALL

Planning Commissioners Present: Greg Gebauer; Lloyd Mesmer; Vince Bombardier; Sherri Neff; Nick Perica; Larry Clark

Absent – Jason Cruse; Paul Zeps

Quorum Established

Staff Present: Mark Lee, Community Development Director

2. **CONSENT AGENDA**

Item #2 – Approval of Minutes of April 18, 2023 Planning Commission meeting

Chair Gebauer introduced the Consent Agenda Item #2. Commissioners were awarded time to comment or ask questions.

Commissioner Clark discovered an error, correction made by staff

Motion to **APPROVE** the Consent Agenda was made by Commissioner Clark and seconded by Commissioner Mesmer.

Chair Gebauer called for a vote.

AYE – Gebauer, Mesmer, Perica, Bombardier, Neff, Clark

NAY – None

MOTION PASSED 6 – 0

3. **UNFINISHED BUSINESS**

None at this time

NEW BUSINESS

4. **PUBLIC HEARING – ALLEY VACATION – EV-01-23 – The applicant is requesting that existing right of way indicated directly north and abutting 518 N. Nettleton Avenue be vacated and returned equally to the adjoining properties.**

Chair Gebauer introduced Item #4 and asked for staff's report.

Staff introduced the item, explained the location of the project and the project itself. Staff explained that there is an existing 30' platted right of way located adjacent to the parcel in question running east to west. This right of way was placed in use with the 1906 platting of the McDaniel Plat, since that time it

has not been used to access lots that abut it and no roadway was ever constructed upon the reserved right of way. Staff further explained that the right of way traverses a large drainage ditch that would need to have a bridge or very large culvert placed in order to access the majority of the right of way and that the City has no intention of constructing said crossing. Staff did discuss the fact that an easement would need to be put in place, as there was storm water conveyance systems in place currently and those would need to remain.

Chair Gebauer asked if there were any questions of staff. Being none Chair Gebauer called for a motion to OPEN the Public Hearing. Motion to **OPEN** the hearing was made by Commissioner Mesmer and **SECONDED** by Vice-Chair Clark.

The Public Hearing was OPENED at 7:54pm. Staff requested the item be TABELED due to the lack of information provided by the applicant as well as a lack of signatures from all adjoining property owners. With the publication of the hearing notice occurring and the lack of necessary information being presented, the opening and tabling of the hearing would allow the applicant and staff to acquire the necessary information and alleviate the need to republish the hearing notice.

The hearing was tabled until the June 20, 2023 meeting.

5. Agenda Item # 5 – Open Agenda

None at this time

6. Agenda Item # 7 – Community Development Directors Report

Staff stated they had attended the “first ever” Plan KCK Visioning Summit, as Kansas City, Kansas looks toward updating their Comprehensive Plan, this was the initial step. The meeting was with current stakeholders and looked to garner basic information regarding the growth of KCK.

With a lack of agenda items; staff stated they would like to review the Comprehensive Plan at next months meeting. A worksession was discussed and determined that June 13th would be a good date for the worksession.

The Commissioners and Staff discussed the approval of the Special Use Permit issued for 11845 Kaw Drive and how by the time of Council approval the majority of the containers had already been removed except for one unit. Staff stated he spoke with the applicant and reiterated what the approved Ordinance stated and how if the containers were to come back they would need to be placed in the manner in which the Special Use Permit allowed for.

Chair Gebauer adjourned the meeting at 8:02pm.

Memorandum

Date: June 20, 2023
To: Mayor and City Council
From: Mark Lee

Subject: Vacation of Easement, Street or Alley Petition - EV-01-23 Alley Vacation

Recommendation: Staff recommends the Planning Commission reopen the public hearing and deny the request

Action: Approve, Amend or Deny the request for vacation of existing alley right of way

Background: This item was tabled from the May meeting. The Public Hearing is to be reopened and action is to be taken.

Discussion: Of the six (6) property owners that abut the alleyway, one (1) has refused to sign the application and provided an objection letter. No specific reasoning was given within the letter.

With the property owner not willing to sign the application, staff reached out to legal counsel for an opinion on moving forward. It was determined by counsel that all parties must sign the application and that, in fact, one property owner could stop the process.

With this said, staff will explore other means to aid the applicant in gaining the property necessary to construct a new dwelling upon, most likely a variance to the required side yard.

Financial Impact: NA

City of
Bonner Springs
Agenda Item Cover Sheet

Agenda Item No. 4
CASE NO. EV-01-23

Topic: Request for the vacation of existing right of way, easement or street. This request is for the vacation of an existing alley right of way at 518 N. Nettleton Avenue, Lot 1 of the John McDaniel's Subdivision.

Narrative:

A petition has been filed requesting the vacation of the existing 30' right-of-way platted as Elmwood Avenue as shown on the attached Vacation Exhibit. The 30' "vacated" right-of-way will revert to the two adjoining property owners – 518 and 600 N. Nettleton Ave – as an additional 15' of lot size. Staff has determined there is a storm drain conveyance system located within the alleyway, this drain shall be noted and placed within a Utility Easement on the required survey.

Presented by: Mark Lee – Community Development Director

Staff Recommendation: Staff recommends the Planning Commission reopen the public hearing and deny the request

DRT Review Comments: Included within staff report

Attachments:

Staff Report (5pgs)
Aerial Image (1pg)
Copy of existing McDaniel Plat of Lot 7 (1pg)
Survey Exhibit (1pg)

Of the six (6) properties owners that abut the alley way, one (1) has refused to sign the application and provided an objection letter. No specific reasoning was given within the letter.

With the property owner not willing to sign the application; staff reached out to legal counsel for an opinion on moving forward. It was determined by counsel that all parties must sign the application and that in fact one property owner could stop the process.

With this said, staff will explore other means to aid the applicant in gaining the property necessary to construct a new dwelling upon, most likely a variance to the required side yard.

Memorandum

Date: June 20, 2023
To: Mayor and City Council
From: Mark Lee

Subject: ST-02-23; Site and Landscape Plan for 611 W. 2nd Street - Consider a site and landscape plan for 611 W. Second Street – The Fuel House

Recommendation: Staff recommends the Planning Commission approve the site plan for 611 W. Second Street with the stipulations listed in the Staff report.

Action: Approve, Amend or Deny the Site and Landscape Plan as submitted

Background: Staff Report is included within the packet

Discussion: The Zoning Regulations state the owner, applicant or developer of property shall submit to the Planning Commission or its designated authority, a site and landscape plan for any building or addition to be constructed in R-3, MX, C-1, C-2, C-S, I-1 or I-2, Special Uses and Planned districts. Site plans at a minimum shall show a unified and organized arrangement of the building and/or buildings, off-street parking, points of ingress or egress, internal traffic circulation, site lighting, landscaping, stormwater calculations, signage, service facilities, utility locations, building service connections for water, sewer and public utilities, curb lines, neighboring curb cuts, on which the building or buildings are proposed to be located and shall minimize any adverse effects on nearby properties. The site plan and landscape plan should contain all applicable information as required by this section and as detailed on the site and landscape plan applications.

The minimum submittal requirements for a site plan application are listed on the Site Plan “Fact Sheet” to include the Site Plan Features and Engineering Design Requirements that must be submitted with a completed application. The property owner of record must sign the application if the applicant is not the owner of record. Site plans must reflect the current requirements established at the time of submittal. The Planning Commission shall approve all changes to the Site Plan Features and Engineering Design Requirements. The minimum requirements may be reduced by the Planning Department for minor improvements and additions depending upon the intensity of the development.

This project entails the addition of new garage facility, parking area and interconnecting driveways, allowing for more indoor member parking.

Financial Impact: NA

City of
Bonner Springs
Agenda Item Cover Sheet

Agenda Item No. 5
CASE NO. ST-02-23

Topic: **Site/Landscape Plan** – Consider a site and landscape plan for 611 W. Second Street – The Fuel House

Narrative: The Zoning Regulations state the owner, applicant or developer of property shall submit to the Planning Commission or its designated authority, a site and landscape plan for any building or addition to be constructed in R-3, MX, C-1, C-2, C-S, I-1 or I-2, Special Uses and Planned districts. Site plans at a minimum shall show a unified and organized arrangement of the building and/or buildings, off-street parking, points of ingress or egress, internal traffic circulation, site lighting, landscaping, stormwater calculations, signage, service facilities, utility locations, building service connections for water, sewer and public utilities, curb lines, neighboring curb cuts, on which the building or buildings are proposed to be located and shall minimize any adverse effects on nearby properties. The site plan and landscape plan should contain all applicable information as required by this section and as detailed on the site and landscape plan applications.

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This project entails the addition of new garage facility, parking area and interconnecting driveways allowing for more indoor member parking.

Presented by: Mark Lee – Community Development Director

Staff Recommendation: Staff recommends the Planning Commission approve the site plan for 611 W. Second Street with the stipulations listed in the Staff report.

DRT Review Comments: Included within staff report

Attachments:

Staff Report (5pgs)

Aerial Image (included within staff report)

Site Plan Packet (4pgs)

Building Renderings (2pgs)

**SITE AND LANDSCAPE PLAN FOR 611 W. SECOND STREET – THE FUEL HOUSE –
REQUEST FOR APPROVAL OF THE SITE PLAN AS PRESENTED**

MEETING DATE: June 20, 2023
REPORT WRITTEN: June 1, 2023

APPLICANT:

- Hunter Saulsbury – The Fuel House
611 W. Second Street
Bonner Springs KS 66012

OWNER

- Same

REQUEST:

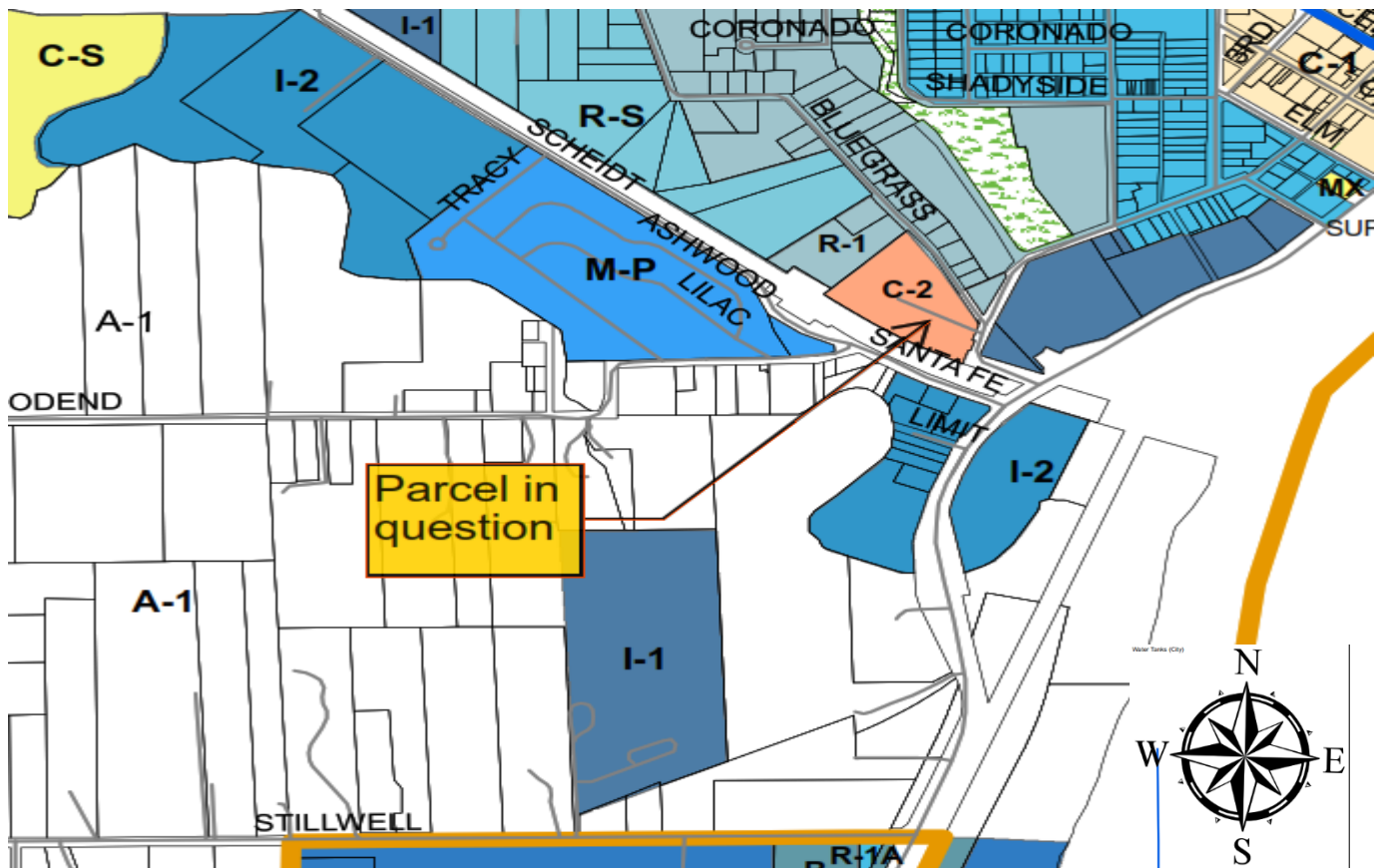
The applicant is requesting approval of the site and landscape plan as submitted.

ZONING:

- The property is currently zoned “C-2” General Business District

SURROUNDING ZONING:

- North - R-1 (Single Family Residential District)
- South - I-2 (Heavy Industrial District)
- East - I-1 (Light Industrial District)
- West - M-P (Manufactured Home Park District); I-1 (Light Industrial); A-1 (Agricultural District)



SITE INFORMATION:

Location - 611 W. Second Street

Lot Size - 6.88 +/- acres; 300,319sqft +/-

Building Use - Garage for member vehicle storage, similar to the existing interior use of the Fuel House Garage

Parking –

Required - Eight (8) spaces

Provided - Nineteen (19) spaces

Landscaping:

Required - 1 Street Tree for every 40' street frontage + one (1) tree for every 3000sqft of landscape open space

Provided - Four (4) trees currently existing upon the lot will remain, one existing tree to be relocated, additional trees remain scattered throughout the property and should not be affected by this project. An additional 16 trees are indicated as being planted along Bluegrass Drive, with additional landscaping occurring around a utility transformer and the entrance off of Bluegrass Dr.

Outdoor Lighting - None shown – plan requested

Signage - None indicated – Signage provided on other buildings; any new or additional signage must meet the Zoning Regulations, be submitted, reviewed and approved prior to installation.

Trash Enclosure - N/A

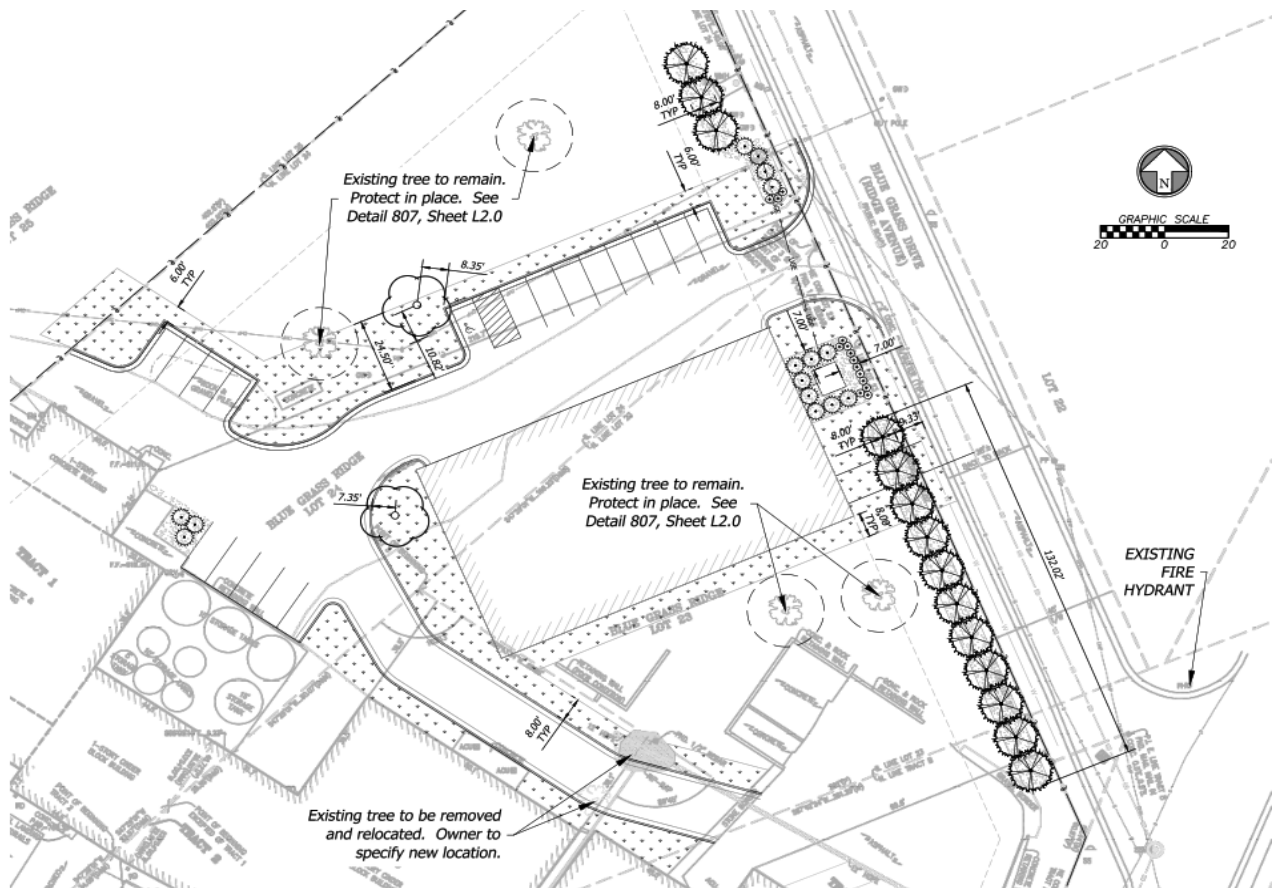


Image above indicates new building positioning and landscaping to occur

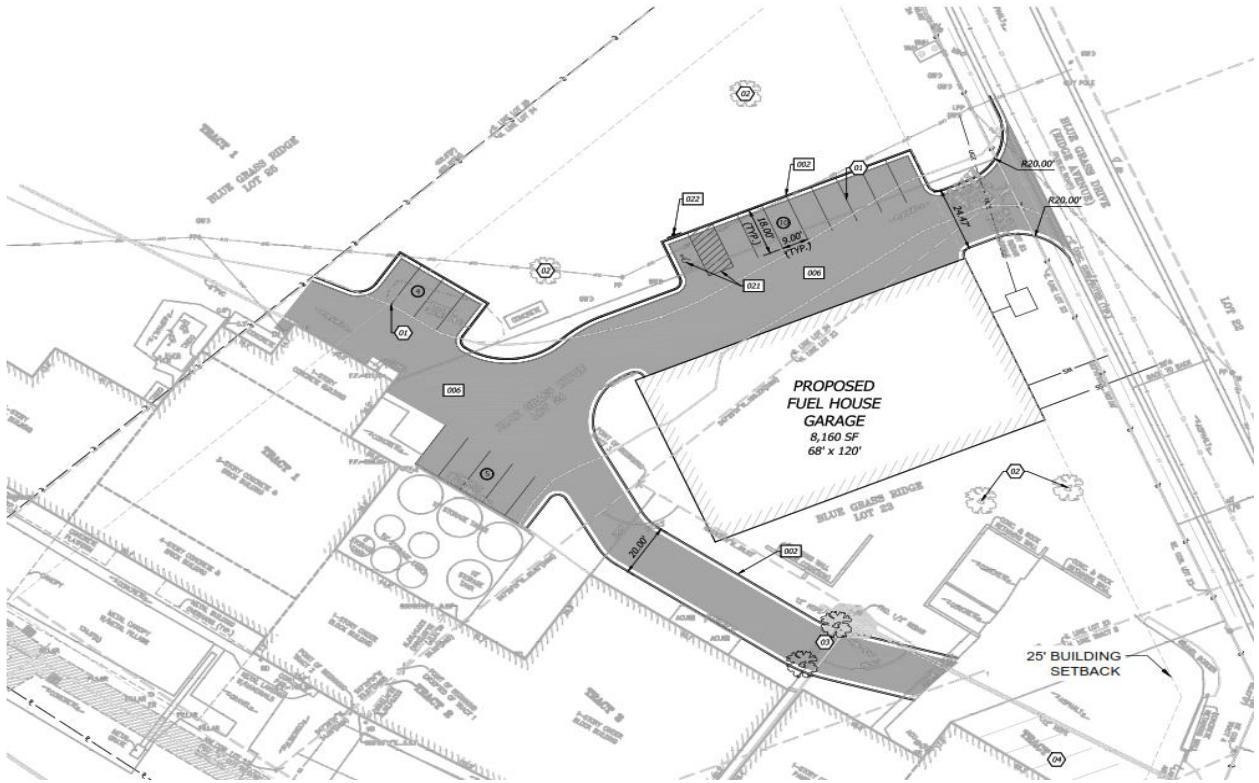


Image above indicates the location of the proposed new building along with additional paving to be done.

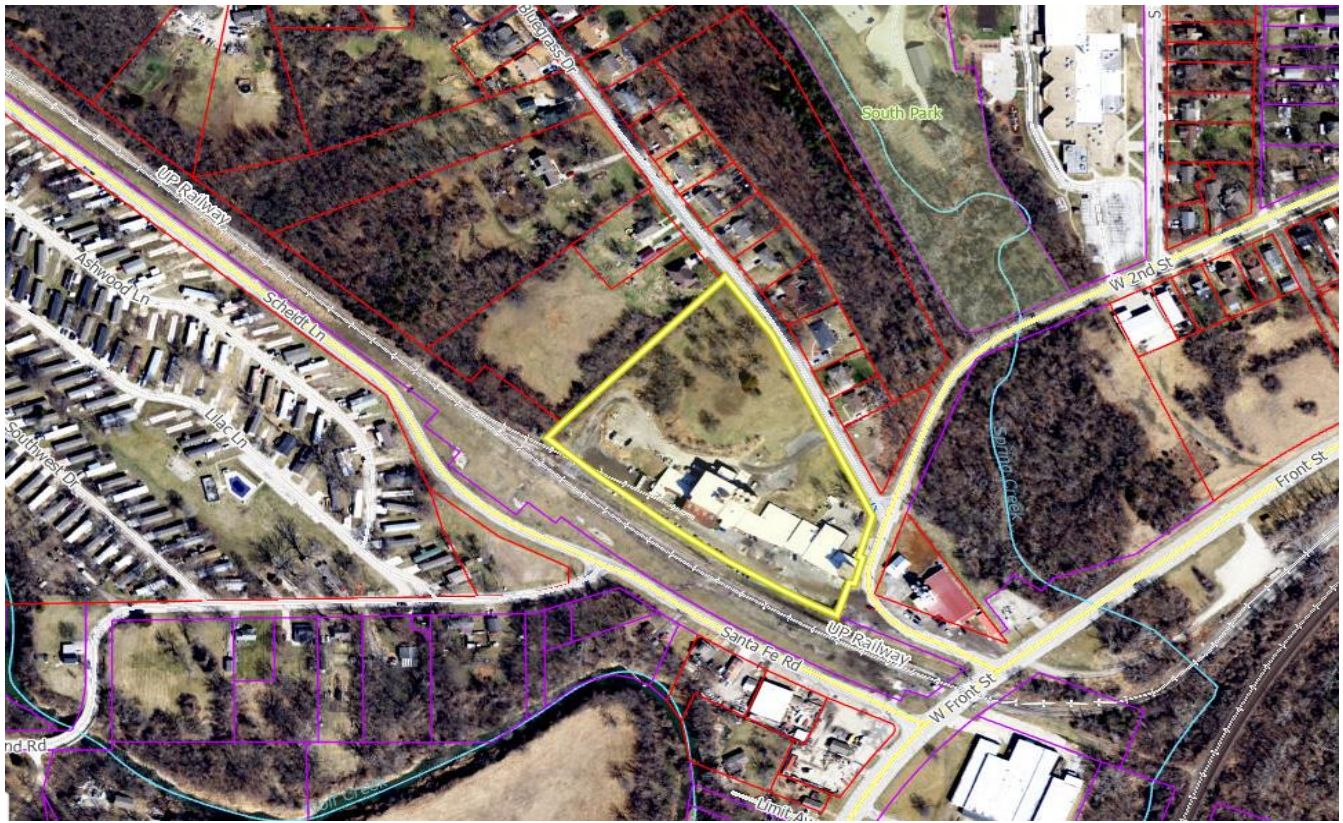


Image above indicates parcel location

ZONING REGULATIONS SITE PLAN REVIEW CRITERIA:

The Zoning Regulations lay out thirteen requirements used to review site plans and ensure they meet the necessary criteria. Those requirements are stated below and followed by Staff's justification.

1. Compatibility of design and exterior materials and appearance with existing and surrounding structures;
 - i. *The primary structure located on site is constructed of a variety of materials, including painted cinder block, painted brick, metal roofs, along with the remaining metal silos and other metal elements. Staff feels as though the materials and color scheme utilized in this building design will be compatible.*
2. Appropriate screening of mechanical equipment;
 - i. *All mechanical equipment shall be screened as required by the Zoning Regulations*
3. The building design shall include a variety of materials, with a maximum of 70% of any one material on all elevations of the structure;
 - i. *The building design indicates a metal structure with columns clad in stone.*
4. Structure design or choice of materials required as part of any franchise type operation shall be considered;
 - i. *N/A*
5. Architectural design should create visual interest and variety through the use of different mixtures, complimentary colors, shadow lines and contrasting shades. The use of walls and a single color, with little detail or completely blank, is discouraged;
 - i. *The proposed buildings will be of similar color scheme as the existing building. The renderings indicate awning overhangs at various locations along the front.*
6. Use of substantial amounts of masonry materials (face brick, stucco, stone) is encouraged;
 - i. *Stone will be placed around the columns supporting the overhang, staff has asked about the potential of utilizing an imitation stone wainscot.*
7. The use of aluminum siding, metal roof panels and extensive mirrored glass surfaces is discouraged;
 - i. *The building as presented is a steel-clad building*
8. Evaluation of building materials shall be based on the quality of its design in relationship and compatibility to building materials in the immediate neighborhood;
 - i. *The structures currently located on-site are of a variety of materials, most are concrete block or some form of masonry. Many elements of metal cladding are used throughout for roof materials as well as other "accent" features. There are multiple steel silos along with a large metal overhang integrated into the property along with other steel/metal features.*
9. The city encourages the use of a variety of architectural design and building materials to give each commercial center a distinct character;
 - i. *The proposed building does have limited architectural features. These features are comprised of canopy overhangs, and stone clad columns, with the color scheme indicated and the architectural features being applied, the building should blend with the existing buildings on-site.*
10. Loading, delivery and service bays shall be oriented away from residential areas and public streets;
 - i. *N/A*
11. Design and proportion of buildings shall be compatible with the scale, design and proportion of existing development in the immediate area;
 - i. *This new building shall be similar in size and scale of the existing buildings located on the site.*
12. Lengthy horizontal faces should be varied with differing heights, materials, colors, entrance canopies and landscaping; and
 - i. *The new structure is proposed to be of a similar design and color scheme as the structures already located on the site. The front façade is broken up by awnings, garage doors and columns supporting a roof, the rear façade and sides do not indicate any detail.*

13. Consideration of external traffic circulation.
 - i. *The site is accessed from one ingress and egress point off of Bluegrass; with additional access being from the existing parking lot, external traffic flow should not be impacted.*

STANDING SITE PLAN CONDITIONS:

1. Changes or deviations from the approved Site Plan shall require resubmittal to the City Planner for review and approval. If the changes are substantial, resubmittal to the Planning Commission for approval shall be required;
2. Structures shall adhere to all building codes as adopted by the City;
3. An approved Site Plan shall be valid if a building permit is issued within 180 days from the date of approval by the Planning Commission;
4. All utilities shall be placed underground; and
5. Erosion control per City Standards to be installed and maintained during construction.

CITY PLANNER COMMENTS:

1. Show all lighting locations and heights on the site plan as required;

DESIGN REVIEW TEAM (DRT) COMMENTS:

Building Official:

1. None at this time, building plans to be submitted upon approval

City Engineer:

1. Has reviewed the project against our storm water regulations and standard engineering and given approval

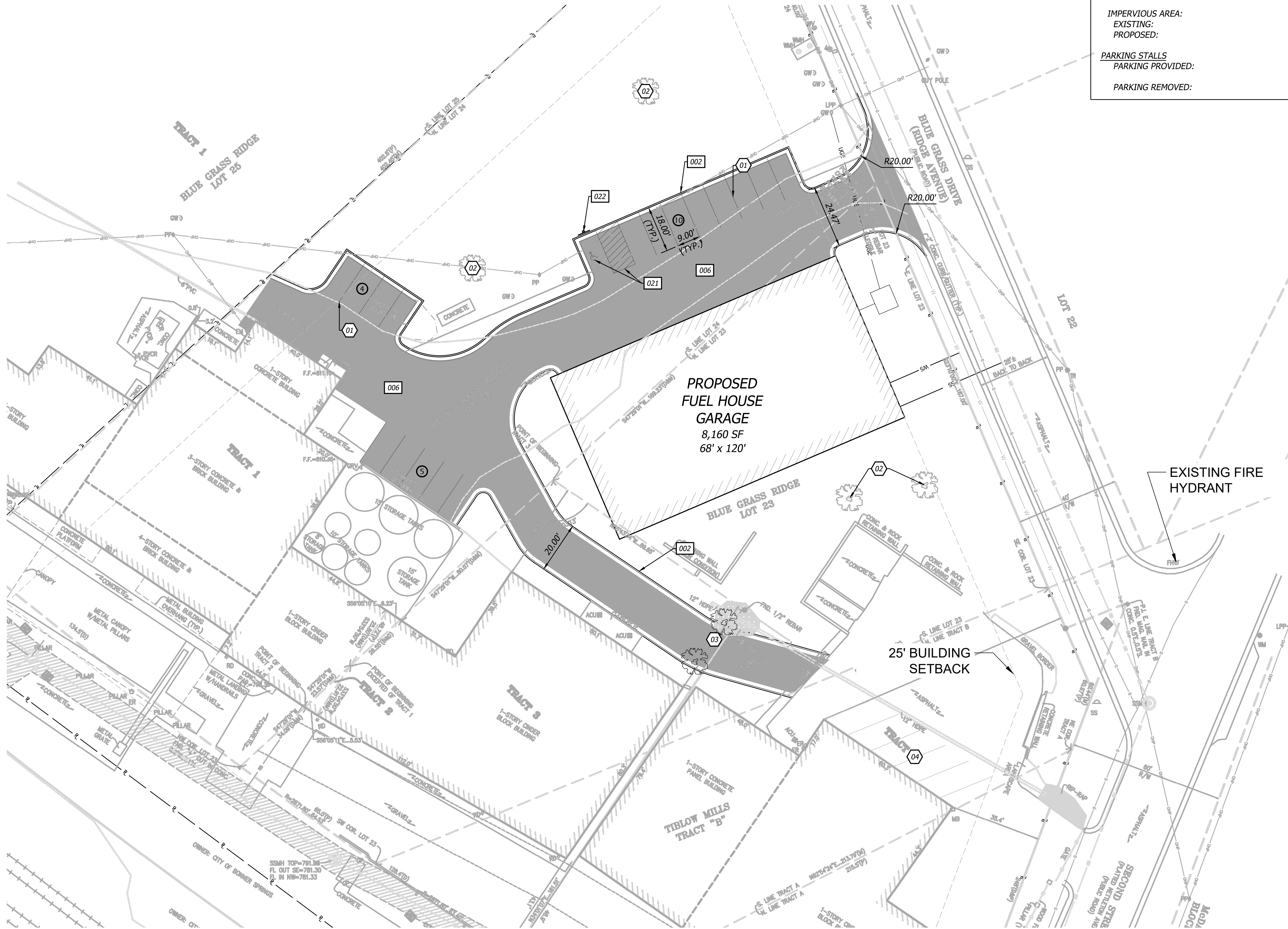
Public Works Director:

1. None at this time

STAFF RECOMMENDATION:

The Development Staff recommends **approval** of the Site Plan subject to the conditions listed below and to include all **standing conditions** listed above. Staff recommends approval of the site plan application, with the following stipulations:

1. All Standing Site Plan Conditions shall be adhered to.
 - i. Changes or deviations from the approved Site Plan shall require resubmittal to the City Planner for review and approval. If the changes are substantial, resubmittal to the Planning Commission for approval shall be required;
 - ii. Structures shall adhere to all building codes as adopted by the City;
 - iii. An approved Site Plan shall be valid if a building permit is issued within 180 days from the date of approval by the Planning Commission;
 - iv. All utilities shall be placed underground; and
 - v. Erosion control per City Standards to be installed and maintained during construction.
2. A lighting plan shall be completed and provided to Staff for review and approval
3. All comments provided by the Design Review Team shall be adhered to as written in the Staff report.
4. All site improvements indicated on the site plan shall be completed as shown or recommended by the DRT.
5. Silt fence needs to be located outside/downstream of the limits of disturbance.
6. Upon approval, two (2) complete full size 24" x 36" and one (1) 11" x 17" signed and sealed Site Plan shall be submitted to the Planning Department for final approval and release to the Building Department for issuance of a building permit.



SITE DATA

<u>SITE</u>	
SITE AREA:	6.89 AC 300,319 SF
<u>BUILDING AREA:</u>	8,160 SF (2.7%)
IMPERVIOUS AREA:	
EXISTING:	118,995 SF (39.62%)
PROPOSED:	131,640 SF (43.83%)
<u>PARKING STALLS</u>	
PARKING PROVIDED:	19 (1 ADA)
PARKING REMOVED:	5

ZONING

C-2 (GENERAL BUSINESS DISTRICT)

SITE LEGEND

	PROPOSED BUILDING
	MEDIUM DUTY ASPHALT PAVEMENT
	STANDARD CURB & GUTTER
	PARKING STALL COUNT

CONSTRUCTION NOTES

- LEAD FREE, WATER-BORNE EMULSION BASED TRAFFIC PAINT FOR PARKING LOT STRIPING (WHITE ON ASPHALT & YELLOW ON CONCRETE).
- EXISTING TREES TO REMAIN.
- EXISTING TREES TO BE RELOCATED.
- EXISTING PARKING STALLS TO BE REMOVED.

DETAILS

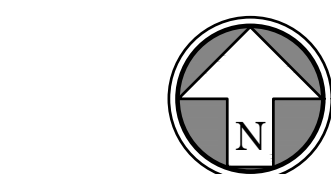
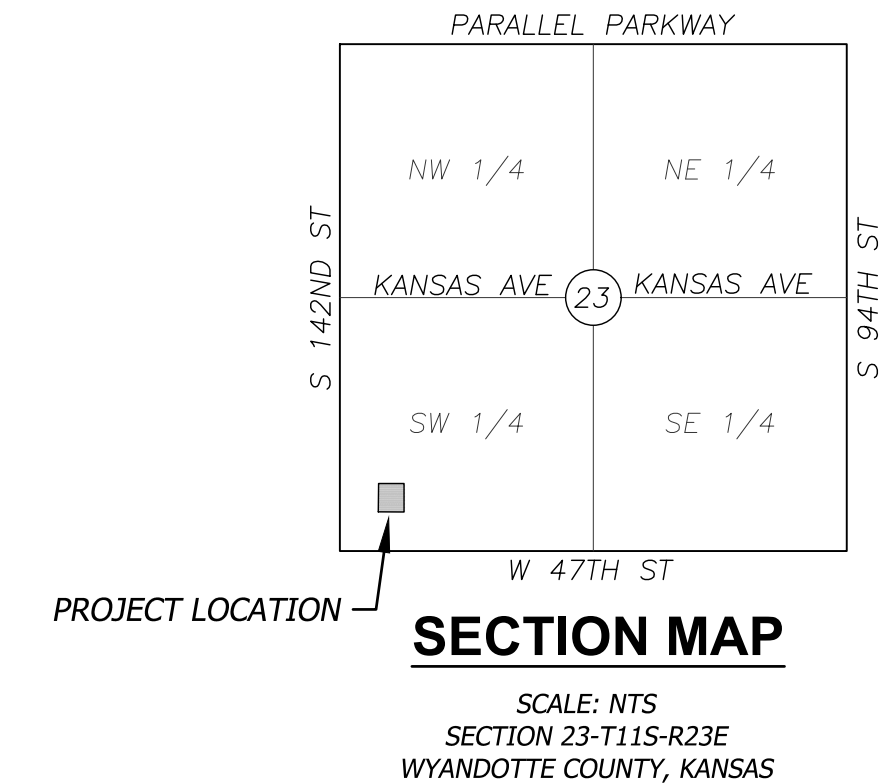
- | | |
|-----|---|
| 002 | CONCRETE CURB & GUTTER; RE. LEGEND FOR TYPE |
| 006 | MEDIUM DUTY ASPHALT PAVEMENT |
| 021 | (ADA) HANDICAP PARKING STRIPING |
| 022 | (ADA) HANDICAP PARKING SIGNAGE |

OWNER/DEVELOPER

FUEL HOUSE GARAGE
611 W 2ND STREET
BONNER SPRINGS, KS 66012
P (913) 948-3428
CONTACT: HUNTER SAULSBURY
EMAIL: HUNTER@THEFUELHOUSE.COM

CIVIL ENGINEER

BHC
7101 COLLEGE BOULEVARD, SUITE 400
OVERLAND PARK, KANSAS 66210
P (913) 663-1900
F (913) 663-1633
CONTACT: TREVOR SPLICHAL
EMAIL: TREVOR.SPLICHAL@IBHC.COM



GRAPHIC SCALE
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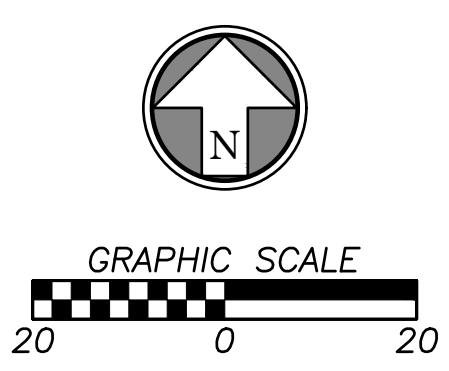


Prepared For:
FUEL HOUSE GARAGE
HUNTER SAULSBURY
611 W 2ND STREET
BONNER SPRINGS, KS 66012
913-948-3428

SITE PLAN APPLICATION
FUEL HOUSE GARAGE
BONNER SPRINGS, KS 66012
SITE PLAN

Design: DM Drawn: ----
Checked: TS
Issue Date: 01/01/2021
Project Number: 035380

C1.0



MULCH SCHEDULE		
	<u>ROCK MULCH</u> SAMPLE OF ROCK MULCH TO BE PROVIDED TO OWNER AND ARCHITECT FOR APPROVAL. River Rock or regional equal. Size: 1"-3". Depth: 3".	2,175 sf

1. The Contractor shall verify and coordinate all final grades with the Landscape Architect and or design team prior to completion.
2. Location and placement of all plant material shall be coordinated with the Landscape Architect prior to installation.
3. Location of all utilities are approximate, the Contractor shall field verify locations prior to commencement of construction operations.
4. Refer to Civil Drawings for all grading and berming, erosion control, storm drainage, utilities and site layout.
5. Plant quantities are for information only, drawing shall prevail if conflict occurs. Contractor is responsible for calculating own quantities and bid accordingly. Minimum quantities for each category of planting required by City Code must be maintained.
6. Tree locations in areas adjacent to drives, walks, walls and light fixtures may be field adjusted as approved by Landscape Architect.
7. The Contractor shall report subsurface soil or drainage problems to the Landscape Architect.
8. The plan is subject to changes based on plant size and material availability. All changes or substitutions must be approved by the City of Bonner Springs, Kansas and the Landscape Architect.
9. Aluminum landscape edging to be used on all landscape beds adjoining turf areas as noted on landscape plans. Edging shall not be used between pavement and landscape beds.
10. Landscape Contractor shall be responsible for watering all plant material until the time that a permanent water source is ready.
11. The Contractor shall provide a submittal to show proof of procurement, sources, quantities, and varieties for all shrubs, perennials, ornamental grasses, and annuals within 21 days following the award of the contract.
12. Contractor shall provide full maintenance for newly landscaped areas for a period of 30 days after the date of final acceptance. At the end of the maintenance period, a healthy, well-rooted, even-colored, viable turf and landscaped area must be established. The landscaped areas shall be free of weeds, open joints, bare areas, and surface irregularities.
13. Landscape Contractor shall provide rock mulch sample to owner for approval.

1. Contractor to design irrigation system prior to installation.
2. Contractor to submit shop drawings of design for written approval prior to installation.
3. Irrigation plan to not interfere with any proposed improvements shown.
4. Irrigation system design to be based on available psi. Minimum operating pressure for spray heads shall be 30 psi and minimum operating pressure for drip zones shall be 40 psi.
5. The contractor shall be responsible for providing uninterrupted, 110 v electrical service to the controller and for all hook-ups. All exposed low voltage wire shall be enclosed in a conduit.
6. Place valve boxes 12" minimum from and parallel to curbs and walks, grouped valves to be equally spaced.
7. Install all mainlines to 1% minimum slope to drain valves located at low points of main system.
8. Irrigation controller and rain sensor shall be located in owner approved locations.

	Required	Provided
Street Tree/Buffer		
<i>Total trees</i>		14
<i>"screened from public view"</i>	Yes	Yes
<i>minimum 6' ht</i>	Yes	Yes
Tree Requirements		
<i>no tree within 30' of corner</i>	Yes	Yes
<i>no tree within 15' of hydrant</i>	Yes	Yes
<i>no tree within 10' of overhead</i>	Yes	Yes
<i>no tree within 6' of underground utility</i>	Yes	Yes
Utility Screening		
<i>above ground cabinets should be screened w/landscaping</i>	Yes	Yes

BHC

CIVIL ENGINEERING / SURVEYING / UTILITIES

7101 College Blvd., Suite 400
Overland Park, Kansas 66210
p. (913) 663-1900

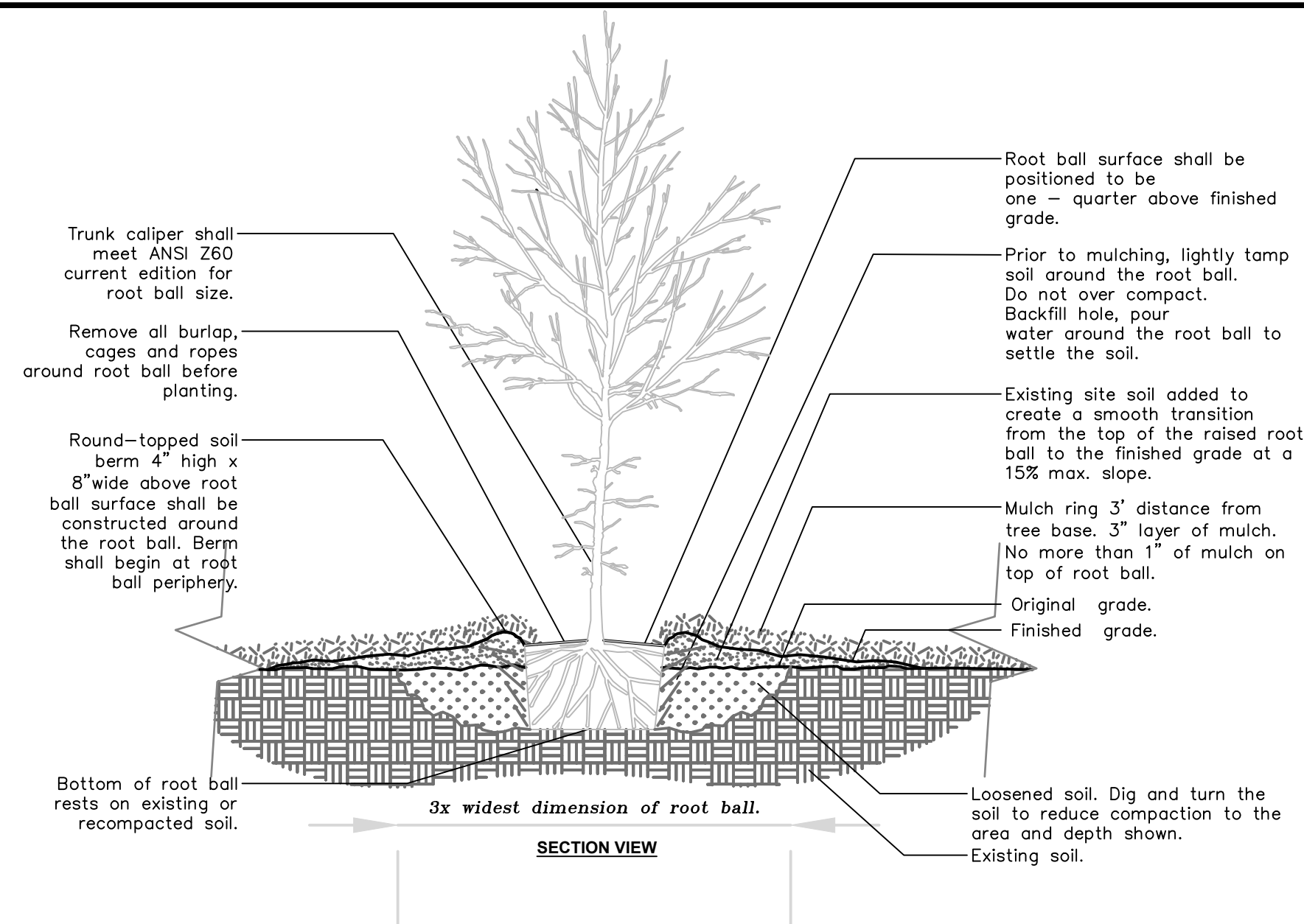
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FUEL HOUSE GARAGE
HUNTER SAULSBURY
611 W 2ND STREET
BONNER SPRINGS, KS 66012
913-948-3428

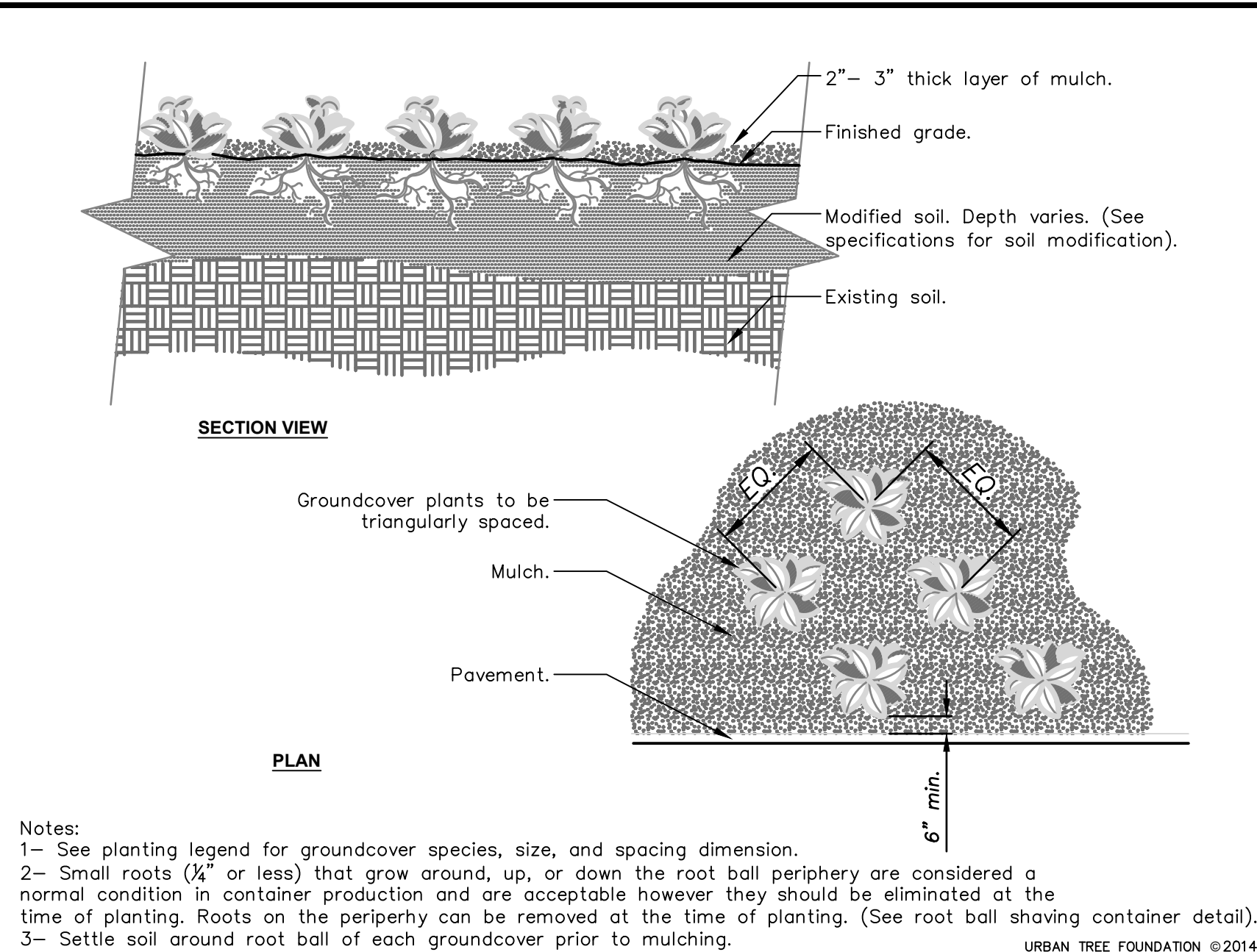
**SITE PLAN APPLICATION
FUEL HOUSE GARAGE
BONNER SPRINGS, KS 66012**

Design: <i>NAB</i>	Drawn: <i>NAB</i>
Checked:	<i>NAB</i>
Issue Date:	<i>01/01/2021</i>
Project Number:	<i>035380</i>

L1.0



801 TREE PLANTING DETAIL



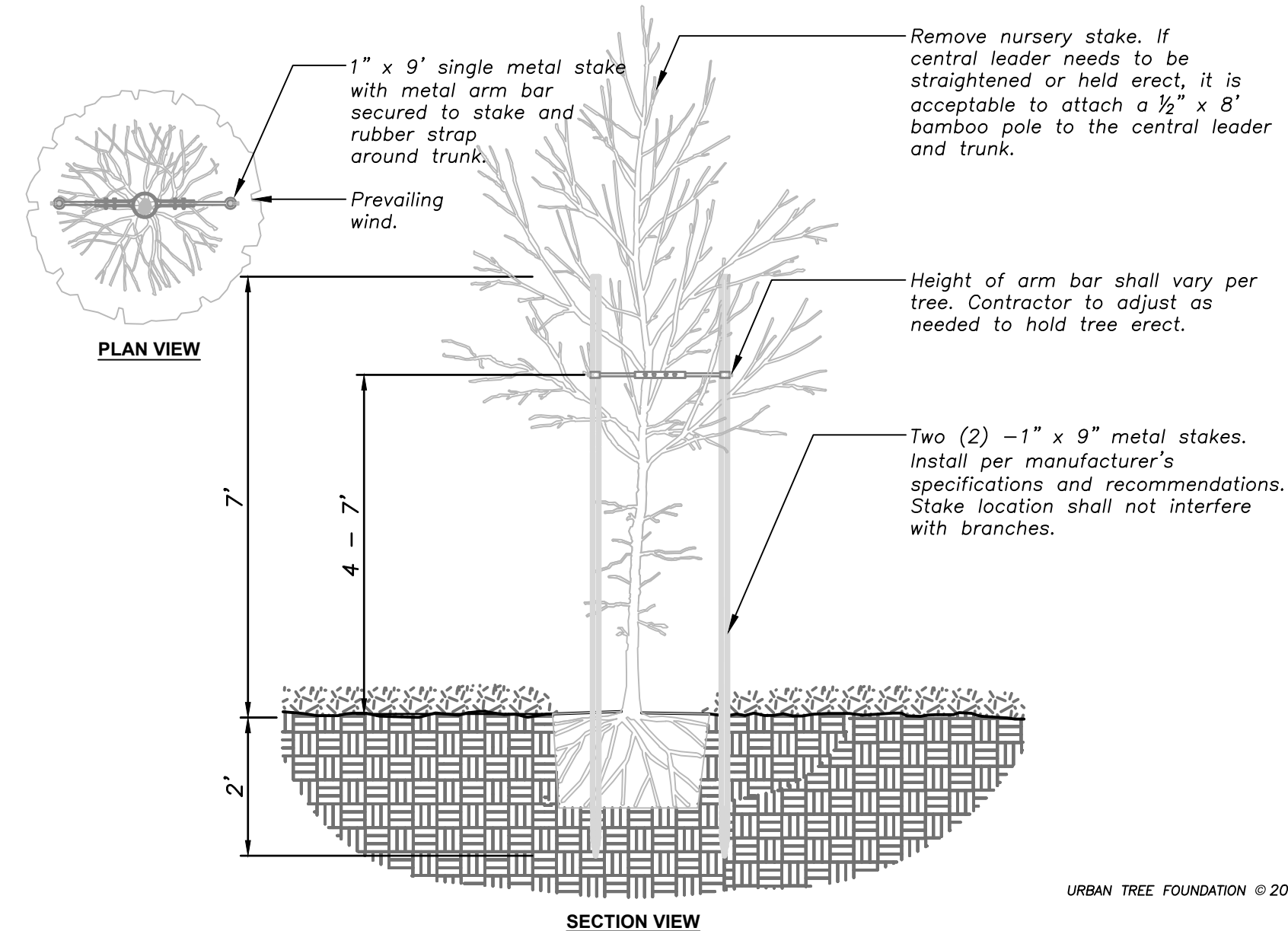
804 **GROUND COVER SPACING DETAIL**

- ## PLANTING NOTES

1. Location of all existing utilities need to be done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - A. Creeping groundcover shall be a minimum of 6' from paving edge.
 - B. All trees shall be a minimum of 4 ft. from curb and 2' from paving and/or sidewalk.
 - C. All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - D. All shrubs shall be a minimum of 2 ft. from paved edge and 4' from back of curb to allow for bumper overhang.
3. Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 2".
4. All landscaped areas in right of way shall be sodded and irrigated unless otherwise specified.

MATERIALS:

1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
 2. Kind, size and quality of plant material shall conform to American Standard for nursery stock, ANSI-260-2004, or most recent edition.
 3. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.
- INSTALLATION:**
1. All compacted soil within the area to be landscaped shall be removed to a depth of not less than two (2) feet and shall be backfilled with topsoil.
 2. Prepare planting beds by incorporating an approved composed organic soil into existing soil for all shrub, perennial, and annual planting beds at a minimum depth of 6". Thoroughly mix organic material into the existing soil by roto-tilling or other approved method to a minimum depth of 12".
 3. Planting of trees, shrubs, and seeded groundcover shall be commenced during either the spring (March 15 - June 15) or fall (September 1 - October 15) planting season and with water available for hand irrigation purposes.
 4. Apply liquid, root stimulator, to all shrubs and groundcovers at rates recommended by manufacturer during first planting watering following installation.
 5. All planting beds will be prepared with polypropylene landscape fabric, that meets or exceeds the DeWitt Pro5 specification, before plant material is installed. Any product substitution to be submitted by contractor to project manager for approval prior to installation. Rock mulch to be placed over polypropylene landscape fabric at a depth of 2" - 4".
 6. Landscape fabric should be installed flat with all folds either pinned down with 4" landscape pins, overlap adjoining sheets a minimum of 2 - 4" steel landscape staples to be used to pin down the corners before rock mulch is installed.
 7. After plants have been installed, all planting beds shall be treated with dacthal pre-emergent herbicide prior to mulch application.
 8. Plant pit backfill for trees and shrubs shall be 20% peat or well composted manure and 80% topsoil.
 9. Trees planted in landscaped planting areas shall be situated a minimum of three (4) feet from any curb.
 10. Plant material shall be maintained and guaranteed for a period of one year after owner's acceptance of finished job. All dead or damaged plant material shall be replaced at the landscape contractor's expense.
 11. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.
 12. All landscape beds shall be level with surrounding hardscape.



802 TREE STAKING DETAIL

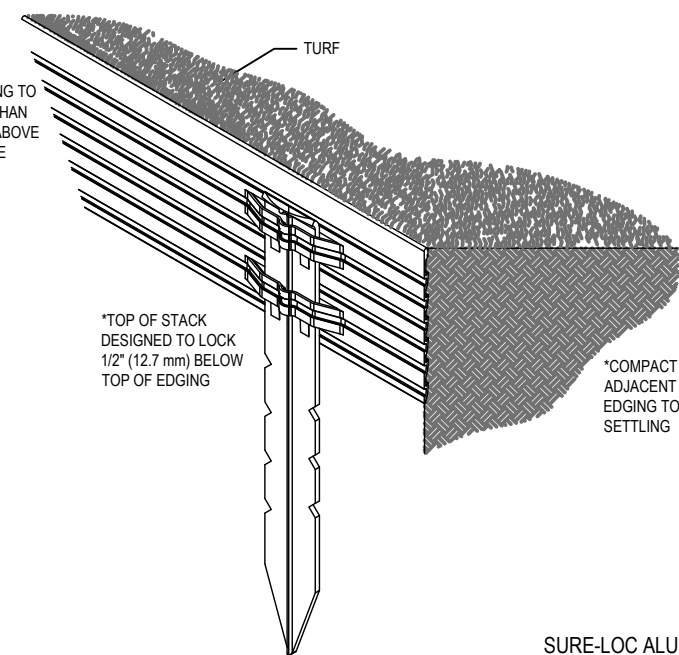


SELECT DESIRED SIZE		
	PRODUCT	SIZE PACKAGE
☐	SURE-LOC CRISPDGE	1/8" X 4" 15 PIECES (120 LINEAR FEET) PER BOX
☐	SURE-LOC CRISPDGE	1/8" X 4" X 16" 15 PIECES (240 LINEAR FEET) PER BOX
☐	SURE-LOC CRISPDGE	1/8" X 5 1/2" 15 PIECES (240 LINEAR FEET) PER BOX
☐	SURE-LOC SUREEDGE	3/16" X 4" 10 PIECES (160 LINEAR FEET) PER BOX
☒	SURE-LOC SUREEDGE	3/16" X 5 1/2" 10 PIECES (160 LINEAR FEET) PER BOX

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. CONTRACTORS NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT www.CADdetails.com/info

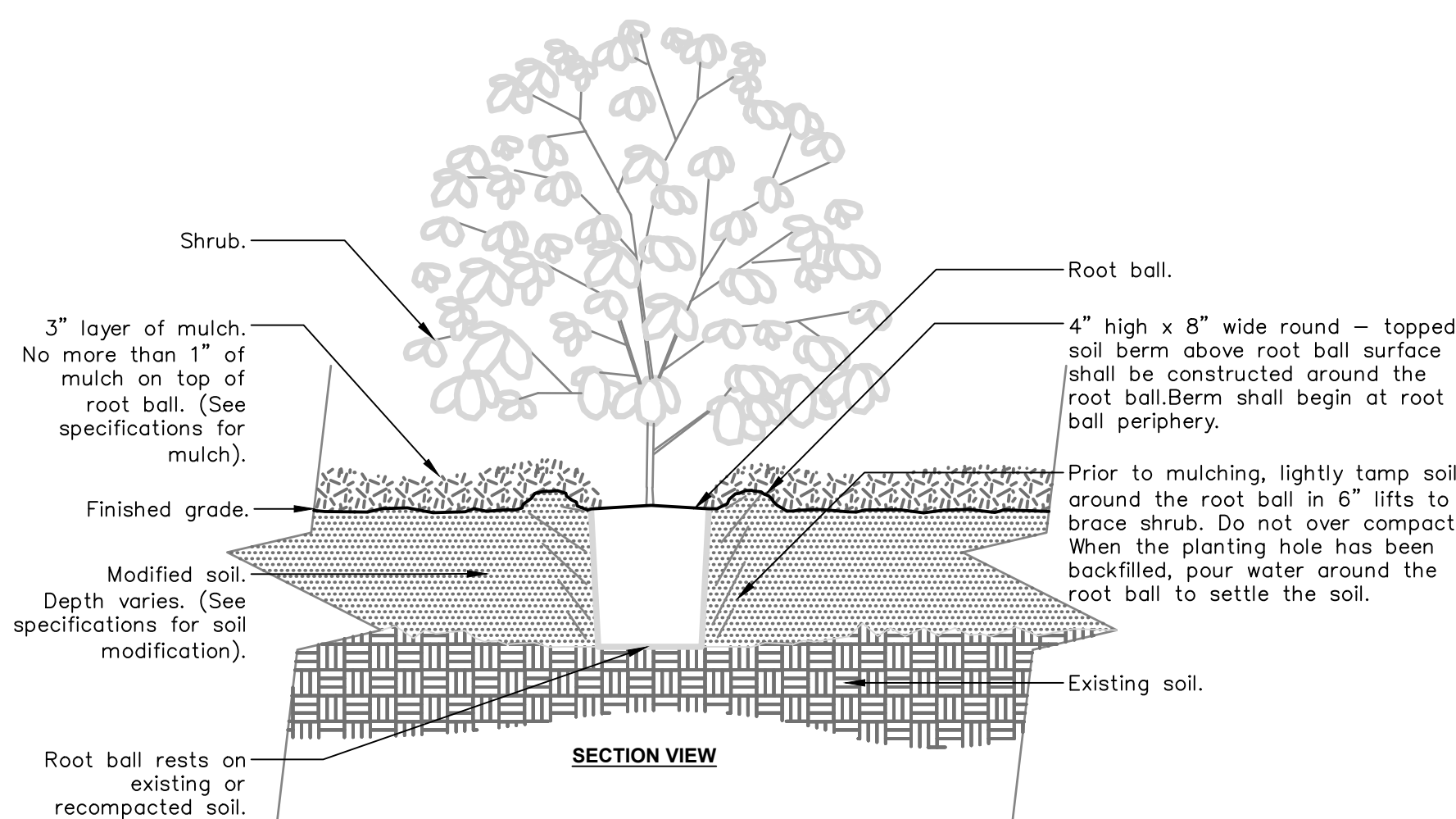
REFERENCE NUMBER 200-005



SURE-LOC ALUMINUM EDGING CORPORATION
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HOLLAND, MI 49423
TOLL FREE: 1-800-787-3562
PHONE: (616) 392-3209
FAX: (616) 392-5134
www.surelocedging.com

- ## SOD NOTES

1. All disturbed areas shall be sodded with turf-type tall fescue sod with a minimum of three cultivars.
2. All landscaped areas shall receive a minimum 6-inch depth of topsoil compacted to 85% density at optimum moisture content.
3. The entire surface to be landscaped should be reasonable smooth and free from stones, roots or other debris.
4. Sod shall be machine stripped at a uniform soil thickness of approximately one inch (plus or minus 1/4-inch). The measurement for thickness shall exclude top growth and thatch, and shall be determined at the time of cutting in the field. Precautions shall be taken to prevent drying and heating, sod damaged by heat and dry conditions, and sod cut more than 18 hours before being incorporated into the work shall not be used.
5. Handling of sod shall be done in a manner that will prevent tearing, breaking, drying and other damage. Protect exposed roots from dehydration. Do not deliver more sod than can be laid within 24 hours.
6. Moisten prepared surface immediately prior to laying sod, water thoroughly and allow surface to dry before installing sod, fertilize, harrow or rake fertilizer in the top 1-1/2-inches of topsoil, at a uniform rate.
7. Fertilizer shall be 20-10-5 commercial fertilizer of the grade, type, and form specified and shall comply with the rules of the state dept. of agriculture. fertilizer shall be identified according to the percent N,P,K in that order.
8. Saturate sod with fine water spray within two hours of planting. During the first week after planting, water daily or more frequently as necessary to maintain moist soil to a minimum depth of four inches.



- Notes:
- 1- Shrubs shall be of quality prescribed in the root observations detail and specifications.
 - 2- See specifications for further requirements related to this detail.

803 SHRUB PLANTING DETAIL



Pro 5 Weed Barrier

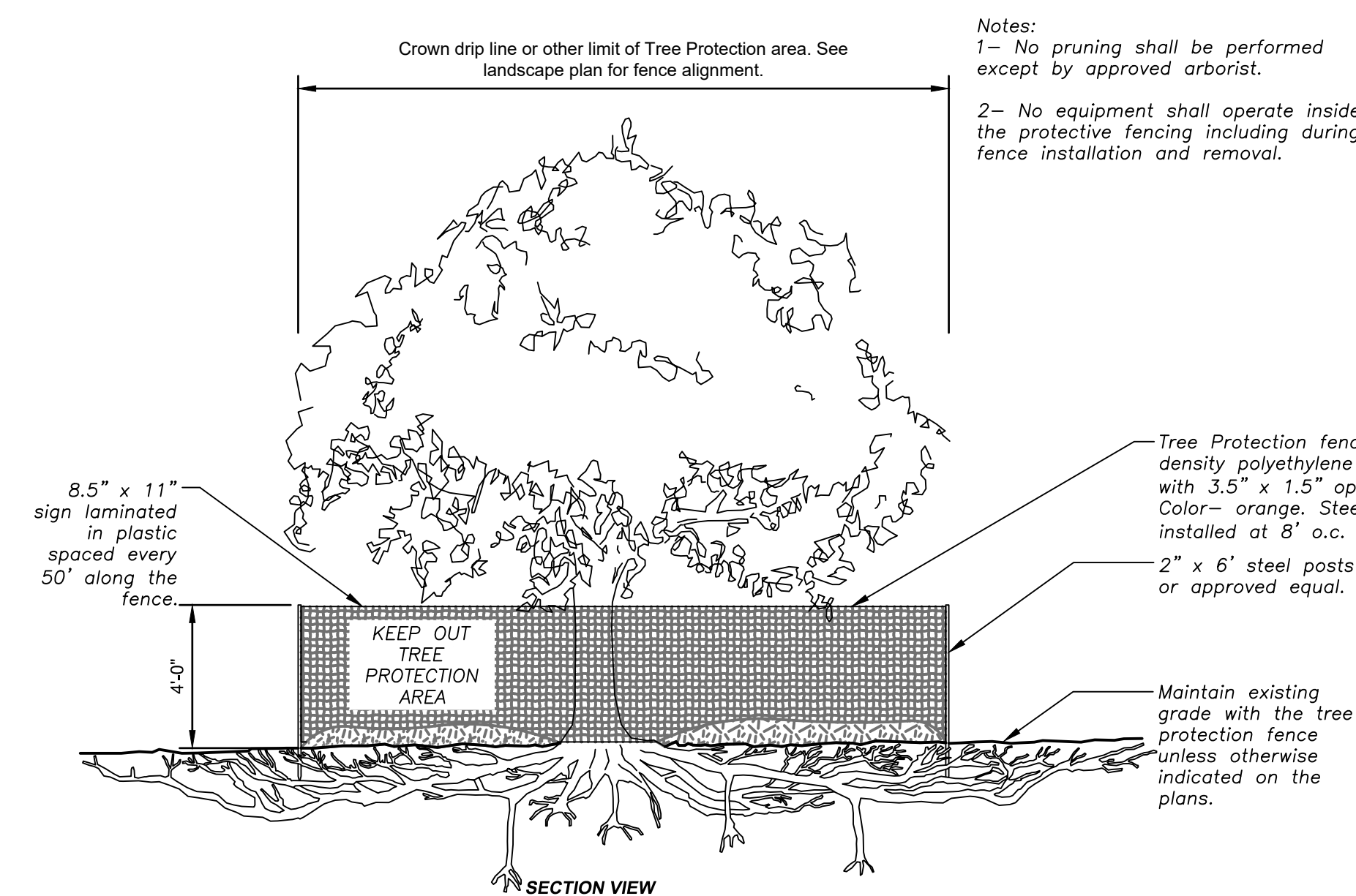
DeWitt Pro 5 Weed Barrier is a woven, needle-punched polypropylene fabric for commercial grade weed control. Specified by leading architects, the fabric is designed to allow air, water, and nutrients through. The fabric will not rot or mildew, and is formulated to resist UV degradation.

Property	Test Method	Unit	Minimum Average Test Value
Woven Material Fiber Rinsing Color			Polysulfone Polyimide Black with Lead Strips every 12"
Conformability			15 x 10 x 15
Weight	ASTM D 3281	OZ/SY	Scrim 2.2 Cup 2.9
Grab Tensile Strength	ASTM D 4862	LBS	Warp 48 Weft 48
Grab Elongation	ASTM D 4862	%	Warp 15 Weft 15
Tensile Tear	ASTM D 4243	LBS	Warp 36 Weft 36
Puncture	ASTM D4241	LBS	350
Impact Resistance	ASTM D4241	FT-LBS	350
Unwarped Conformity	ASTM D 4305	% Stretch	≥10% after 2500 Hrs Carbon Arks Exposure
Unwarped Conformity	ASTM D 4305	% Stretch	≥10%

Note: TABLE 1 The data shown represents all properties listed data.
See also separate system specification.

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 573.472.0048 phone / 800.888.9669 / 573.471.6715 fax

806 WEED BARRIER DETAIL



- Notes:
1- No pruning shall be performed except by approved arborist.
2- No equipment shall operate inside the protective fencing including during fence installation and removal.

- Tree Protection fence: 4' high, 10' wide, density polyethylene with 3.5" x 1.5" o.c. Color— orange. Steel posts installed at 8' o.c.
- 2" x 6' steel post: or approved equal.

- Maintain existing grade with the tree protection fence unless otherwise indicated on the plans.

807 TREE PROTECTION DETAIL



