



City of Bonner Springs

KANSAS

Tuesday, February 15, 2022

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<http://meet.goto.com/492164325>

PLANNING COMMISSION MEETING - 7:00 p.m.

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PLANNING COMMISSION MEETING - 07:00 PM - This meeting is accessible online only by going to : <http://meet.goto.com/492164325>

CALL TO ORDER - ROLL CALL

CONSENT AGENDA

1. Approval of minutes from the January 18, 2022 meeting.

Action

Recommendation

Documents:

1. PC Minutes 1.18.22 draft

OLD BUSINESS

1. NONE AT THIS TIME

Action

Recommendation

Documents:

NEW BUSINESS

1. ST-01-22 - Site and Landscape Plan for 540 S. 129th Street

Action

Consider a site and landscape plan for Lot 2 of the Bonner Springs Pointe subdivision, 540 S. 129th Street.

Recommendation

Staff recommends the Planning Commission approve the site and landscape plan for Lot 2 of the Bonner Springs Pointe subdivision with the stipulations listed in the Staff report.

Documents:

1. ST-01-22 - Starbucks- 540 S. 129th St - Staff Report and Agenda Cover
2. Overall Site-Landscape Plan
3. Elevations

2. ST-02-22 - Site and Landscape Plan for 11845 Kaw Drive

Action

Consider a site and landscape plan for 11845 Kaw Drive.

Recommendation

Staff recommends the Planning Commission approve the site and landscape plan for 11845 Kaw Drive with the stipulations listed in the Staff report.

Documents:

1. ST-02-22 - Storage Yard- 11845 Kaw Drive - Staff Report and Agenda Cover
2. Aerial Image
3. Site-Landscape Plan

OPEN AGENDA

1. NONE AT THIS TIME

Action

Recommendation

Documents:

CITY PLANNER'S REPORT

ADJOURNMENT

MINUTES – 1.18.2022 – DRAFT
BONNER SPRINGS PLANNING COMMISSION MEETING
Tuesday, January 18, 2022 – Regular Meeting – 7:00 p.m.

1. Meeting **CALLED TO ORDER** by Chair Gebauer at 7:04 p.m.

ROLL CALL

Planning Commissioners Present: Paul Zeps; Lloyd Mesmer; Sherri Neff; Nick Perica; Larry Clark (via GoToMeeting); Greg Gebauer

Absent: – Vince Bombardier; Jason Cruse

Quorum Established

Staff Present: Mark Lee, City Planner

2. **CONSENT**

Item #1 – Approval of Minutes of November 16, 2021 Planning Commission meeting

Chair Gebauer introduced the Consent Agenda Item #2. Commissioners were awarded time to comment or ask questions.

Commissioner Clark asked why the minutes were so detailed and contained so much of the general discussion. Staff relayed the fact that the City Council wanted to move more of the discussions behind the agenda items and detailed minutes provided this.

Motion to **APPROVE the Consent Agenda** was made by Commissioner Mesmer and seconded by Vice-Chair Zeps.

Chair Gebauer asked for those in favor of the motion to state “aye”.

AYE – Zeps, Mesmer, Neff, Perica, Bombardier, Clark, Gebauer

NAY – None

MOTION PASSED 7 – 0

3. **UNFINISHED BUSINESS**

Tabled item from the November 16, 2021 meeting:

Agenda Item # 3– LS-03-21 – Lot Split – Copher –

Commissioner Mesmer made a **motion to reopen** the tabled item, Commissioner Neff **seconded**; the item was reopened for discussion.

Staff stated that the recommendations had remained the same and the request for dedication of public right of way was still included. Staff further stated that it was within the authority of the Planning Commission to alter, amend or remove any Staff recommendation as they deemed fit.

Staff further explained that one of the requirements for approval of Lot Splits, number four (4), states: ‘There is less street right of way than required by these regulations or the Comprehensive Plan’; and that it was not within Staff’s authority to remove or change the regulations as written.

Vice-Chair Zeps stated that he would abstain from voting due to the relationship with the applicant, but would not recuse himself from discussion. Vice-Chair Zeps continued by asking where the item had progressed to over the past month and if there was any new information that should be discussed.

Mr. Keith Roberts stated he no longer owned the property but was previous owner in 2021. He proceeded to speak about how this was merely straightening up a parcel of land that had an odd corner that was owned by the same individuals. He described how all the other parcels along S. 138th Street where 1320' feet deep and that this particular parcel was cut out at some point in time. Mr. Roberts spoke to the fact that he could not figure out why the City was requesting additional right of way when we did not know when or if the street improvements would happen. Mr. Roberts stated he felt that someone at the City should have let the applicant know this information prior to having all of the work done to survey and split the lot. He continued to speak about how the addresses of the two parcels were flipped, how the fence line of all the properties up and down S. 138th Street were in a line and that they were wanting to construct a new fence in the same location and how if the right of way was dedicated they would have to move the fence back ten (10') feet and then maintain the right of way which is dangerous, he further stated that S. 138th Street was a dangerous street and that he agreed with that. He then stated "I know how to fix this without anybody." He then proceeded to talk about he could make this happen without City input.

Vice-Chair Zeps spoke about how he had given this a lot of thought and how we may be able to make things work. Vice-Chair Zeps asked how could a stipulation be put in place that would make the applicant adhere to the requested additional right of way if and when the street was to be built.

Commissioner Mesmer spoke to Mr. Roberts, if we (the Commission) made a decision the initial evening this was discussed; Mr. Roberts may not have liked that outcome. He stated that he appreciated Mr. Roberts' patience in allowing the Commission to go home and think about the issue.

Vice-Chair Zeps spoke on the fact that if and when S. 138th is to be improved the City would need to secure land for easements and rights of way up and down the street. Staff stated, that may not be the case, there are several areas of developable ground around the vicinity and if those areas were to come forward, the right of way would be obtained through the platting process.

Commissioner Mesmer made a motion to **APPROVE** agenda item #3 with the removal of Staff stipulations 1 and 2 requiring the dedication of additional right of way along S. 138th and Metropolitan Avenue, stating that he felt it was premature to request the property owners dedicate that right of way at this time. Commissioner Neff **SECONDED**.

Chair Gebauer restated the motion for clarification. Commissioner Mesmer concurred it was correct.

Chair Gebauer called for a roll call vote.

AYE – Mesmer, Neff, Perica, Clark, Gebauer

NAY – None

ABSTAIN - Zeps

MOTION PASSED 5 – 0 – 1

4. NEW BUSINESS

Agenda Item # 4– ST-07-21 – Site and Landscape Plan (Lot 3 of the Compass 70 Logistics Center) -
The applicant is requesting approval of a Site and Landscape plan for the above mentioned lot.

Chair Gebauer introduced New Business Item #4 and called for a staff report.

Staff reviewed the report stating that the applicant was requesting approval of the site and landscape plan as submitted. Staff explained the location of Lot 3 within the entirety of the Compass 70 Logistic Center. Staff further stated they had reviewed the site and landscape plan and that it met all criteria as stated within the regulations. Staff stated the recommendation for approval was coming forward with ten (10) conditions, some of which were ‘standing recommendations’.

Chair Gebauer asked if any Commissioners had questions of Staff, being none Chair Gebauer asked if there were any questions of the applicant or if the applicant wished to speak. Cam Duff, introduced himself to the Planning Commission, he is the local representative of Scannell Properties.

With no further questions or comments; Chair Gebauer called for a motion to approve, amend or deny the request for approval. Commissioner Clark made a motion to **APPROVE** the site and landscape application with Staff’s recommendations. Vice-Chair Zeps **SECONDED** the motion.

Chair Gebauer called for a roll call vote.

AYE – Mesmer, Neff, Perica, Clark, Zeps and Gebauer

NAY – None

ABSTAIN - None

MOTION PASSED 6 – 0

Agenda Item # 5– BSCP-01-21 – PUBLIC HEARING - Comprehensive Plan Amendment (Future Land Use Map) – BK Properties LLC (c/o Ken Block) – 1401 S. 130th Street

Chair Gebauer introduced New Business Item #5 and called for a staff report.

Staff reviewed the report and explained the requested amendment to the Future Land Use Map (FLUM); the applicant is requesting the FLUM be amended from the current Mixed Use to Industrial.

The applicant’s request initially was for two parcels, 1401 S. 130th Street and 1209 S. 130th Street, through discussions regarding the conflict in building layout to the intended Nettleton Avenue extension it was agreed upon by the applicant and staff to remove 1209 S. 130th from the discussion at this time.

Staff spoke of how Comprehensive Plan FLUM changes and Rezoning requests go hand-in-hand. Staff discussed the previous amendments to the FLUM from 2007 and how those changes were not acted upon at that time. Staff spoke of the current zoning configuration upon the two lots and how they were part of a proposed larger commercial and multifamily development. Staff spoke of the preliminary design that is completed for Nettleton and how this interacted with the KDOT K-7 Master Plan.

Chair Gebauer asked for a motion to open the Public Hearing – Vice-Chair Zeps made a motion to **OPEN** the Public Hearing; Commissioner Mesmer **SECONDED**.

Chair Gebauer asked if there were any questions of Staff; Vice-Chair Zeps asked for clarification regarding the agenda item. Staff stated that this particular meeting was to only discuss the southern parcel and that the northern parcel had been removed from this evening’s discussion.

Vice-Chair Zeps went on the record stating that he lived within close proximity of the project and that his neighbor had land that adjoined the parcel in question, but at this time he felt impartial to the proposal.

Ryan Denk, with Mcenany, Vancleave and Phillips – Attorney retained by Block Real Estate Services – spoke about the requests being made by the applicant – Comprehensive Plan amendment and Rezoning.

Mr. Denk spoke at the beginning of the presentation and introduced the Block Real Estate Services team; he then proceeded to introduce Mr. Ken Block.

Mr. Ken Block approached the podium and introduced himself to the Commission. Mr. Block spoke about how he has been focusing his efforts along the K-7 corridor recently and in his travels discovered the parcel in question. Mr. Block began his presentation by speaking of the company's history and current holdings.

Staff will place the presentation as an addendum to the minutes.

Mr. Block spoke of how their industrial buildings contained a little more glass and a little more detail than the standard industrial building. He further discussed the multifamily projects that they currently have going. Mr. Block stated that he felt this particular area could have a business park atmosphere with multifamily placed within the development in the correct area to ensure it works within their plan. Mr. Block spoke of the development challenges of the site, mostly revolving around the amount and thickness of rock that is just under the surface. Mr. Block spoke of how his team thought the design of the Nettleton Avenue extension was not thoroughly vetted and that the amount of rock his team had discovered would prove to be very challenging to KDOT. He further explained that the roadway would most likely have to be cut through the rock, leaving twenty-five (25') foot tall rock abutments on both sides of the roadway and leaving the land on either side difficult to access. He then explained how their design of the Nettleton Avenue extension would parallel K-7 and traversed the outer perimeter of their proposed development. Mr. Block spoke of how his team and Staff were working together to develop a layout that would suffice both their needs and those of Bonner Springs and its residents, that is why the northern parcel was pulled from discussions.

Chair Gebauer asked if there were any questions of the applicant at this time. Vice-Chair Zeps asked about the potential addition of multifamily residential being included and how that would interact with the proposed industrial. Mr. Block stated that they did not currently own the property north of the proposed parcels but they laid out their entire design to see how it would all interact with the land and each use. Mr. Block spoke of how their proposal indicated multifamily residences east of the Wal-Mart site and have access directly off of Kansas Avenue. Mr. Zeps asked what the intent of the proposed building would be. Mr. Block stated it would be approximately a 40 bay cross dock logistic center that would be similar to what Scannell is constructing in the Compass 70 Logistic Center (referring to the site plan approved prior to this agenda item).

Chair Gebauer asked if anyone from the public wished to speak about the item.

Robert Chadwick – 642 Macgrantwood Street - spoke to the fact that he owned the property directly south of the proposed development. Mr. Chadwick stated he was been a local real estate agent for 34 years. Mr. Chadwick spoke of the public meetings that had been held over the years regarding future land uses and how things could grow and expand in Bonner Springs. He did not think that Bonner Springs was ready for large warehouse buildings at one of the entrances to Bonner Springs. Mr. Chadwick stated the decision to go industrial must be made with caution and that it should be beneficial to the community. He further spoke about traffic issues that have come to light with the addition of the Amazon and FedEx distribution hubs south of the river and in Edwardsville and how those facilities impact K-7 and K-32.

Mr. Chadwick spoke about the size of the proposed building and how it compared to some of the surrounding structures, east and west of K-7 south of the river. He stated this proposed building is 2 ½ times larger than any of those buildings. He then asked the Commissioners to take a good look at what the potential impact of this rezoning may have on the immediate area and what other types of industrial businesses may come in after.

Ken Block approached the podium to address some of Mr. Chadwick's comments. Mr. Block stated that an additional 2.5 million square feet planned in that area. He went on to explain why he liked this area so much and how it could play into a 'business park' atmosphere and potentially bring businesses looking at surrounding cities. Mr. Block then spoke briefly about the challenges Gardner and Edgerton, Kansas had when it came to the Multi-Modal facility in Johnson County. How Gardner did not want industrial development in that area and Edgerton was in favor, Edgerton eventually annexed the land in question and began to work with the developers to bring that facility to the area. He spoke on how the same amount of traffic was now being funneled through Gardner but they were not receiving the benefits of having these businesses within their city limits. Block stated and from Olathe along K-7 all the north to Bonner Springs is potentially going to be industrial in nature with traffic going up and down K-7 regardless of the rezoning. Mr. Block stated it was more feasible to construct a large building on this rocky parcel as compared to smaller buildings. Mr. Block spoke to the fact they have had several retail analysts work on scenarios to see if any retail would work in this area, they all came back stating they would not. One, due to the retail markets as a whole the other due to its lack of proximity to I-70.

Wes Willet – 926 S. 130th Street – Mr. Willet had received the public hearing notice that indicated both lots were being looked at this evening. It had not been determined until after publication of hearing notice and mailings sent out that the northern lot would be removed at this time. He is speaking on behalf of himself and his brother; they are not against something that stands to benefit the residents of Bonner Springs. Their property has been in their family for over eighty (80) years. He further spoke on some of the history of the property. Mr. Willet then proceeded to speak about the past strategic plans of Bonner Springs and how this proposal differed; he hoped that the Planning Commission would take into account these properties and what the past visions represented making sure this project would represent those qualities.

Chair Gebauer asked if there was any other member of the public wishing to speak for or against the proposal, being none Chair Gebauer called for a motion to close the public hearing. Commissioner Mesmer made a motion to CLOSE the public hearing, Commissioner Perica **SECONDED**. The public hearing was closed.

Chair Gebauer asked the Commissioners if there was a motion to approve, amend or deny the requested Comprehensive Plan amendment – BSCP-01-21. Vice-Chair Zeps made a motion to **APPROVE** the Comprehensive Plan change with Staff recommendations. Commissioner Mesmer **SECONDED**.

Vice-Chair Zeps began discussions by relating this proposal to that of Old Dominion Freight Line and how that proposal did not match the Future Land Use Map when presented either and after several long public hearing meetings they had rejected the proposal only to have Council overturn that decision. He further spoke to the fact that this zoning request appeared to resemble spot zoning and that the K-7 corridor was slowly being changed from what the duly adopted plan indicated, as retail and multi-family, to more of an industrial corridor.

Commission Mesmer stated that looking at the past, the parcel was vacant fifty (50) years ago and remains that way today. He did agree with comments made by Vice-Chair Zeps but he further understood that the Bonner Springs had no more industrial ground to develop. He spoke of the age of the Comprehensive Plan and how plans are sometimes meant to change.

Chair Gebauer asked if any other Commissioners had discussion topics, Commissioner Clark stated he was concerned about the increase in traffic and how it seems as though the Staff recommendation of a Traffic impact Study being conducted could aid in that area.

A question was raised by a member of the public as to why the Nettleton Avenue extension has never been completed. He stated we have known for years that growth is coming and could not understand why the street was never completed. Staff stated it was their opinion that it was because of a lack of funding. The Nettleton Avenue extension is a part of the K-7 Corridor Masterplan and that KDOT would most likely be looking to utilize Nettleton as a detour around future construction along K-7 from Speaker past Kansas Avenue and back to K-7 via the completed extension. Staff explained that constructing Nettleton Avenue with no development along it would not be beneficial; but when you have a developer come in looking to develop ground in an area like this, you place the burden of constructing roadways upon them, you further supply them the plans that have been put in place and let them know that this was or is the intent of said area or roadway.

A member of the public had not spoken during the Public Hearing portion, wanting to give all members of the public an opportunity to speak the motion made by Vice-Chair Zeps and the Second by Commissioner Mesmer were **RECEDED** at this time and the Public Hearing was reopened to allow for further public input.

Rod Phillips – 1134 S. 130th St – Spoke of growing up in Baldwin, KS and how he understands the struggles of the ‘small town’ environment. He spoke on his concerns of the increase in traffic and how that may play into future bridge or roadway improvements. Mr. Phillips stated he thought this proposal would be an eyesore to Bonner Springs as this is one of two entrances into downtown. He further spoke about the quality of construction that Block produces but he still felt as though this was not the appropriate place for light industrial. In his thoughts, if the Bonner Springs keeps going the way it is it will not be a community of families but a community of industrial parks.

Mr. Block approached the podium and spoke about the heavy industrial use of the quarry and how that negatively impacts this area. He further spoke to the fact that through their market study, the 2007 retail plan will not work due to the costs of infrastructure and because ‘big-box’ retailers are not constructing new stores nationwide. Mr. Block then began to speak of what they thought the appropriate land uses would be in that area and how the majority of those uses do not work due to demographics and economics. Mr. Block stated as a developer coming into the community, he wants to do the right thing and build something nice; He does not want to go into a place where the city does not see this type of development occurring. He would like to make this area a business park type community. Mr. Block referenced the utility extensions that would be necessary to have any development occur in that area, at this time there is none, essentially devaluing these adjacent properties for development. Mr. Block reference the lack of sanitary sewer infrastructure in the development area. *Staff comment – while there is a 12” sewer main under K-7, it runs south through the heart of Bonner springs and is currently at 60% capacity not accounting for I & I (inflow and infiltration).*

Chair Gebauer asked if anyone else from the public wished to speak, being none he called for a motion to close the public hearing. Vice-Chair Zeps made the motion to **CLOSE** the public hearing, Commissioner Mesmer **SECONDED**.

Vice-Chair Zeps restated his initial motion, Zeps moved to **APPROVE** with staff recommendations BSCP-01-21, Commissioner Mesmer **SECONDED**. Vice-Chair Zeps reiterated the fact that he felt we were spot zoning things up and down K-7 and it had no true plan behind it. Vice-Chair Zeps asked Staff what the timeline was for moving forward with the Comprehensive Plan updates. Staff stated that as of

this evenings meeting we had no agenda items coming forward in February or March and these should be key months in working on an updated Future land Use Map.

Staff spoke about the difficulties the rock quarry posed for this particular site and how future development of the area was being negatively affected because of this use. Staff spoke of how the brick and mortar retail industry is dying and moving towards internet based sales. Staff stated they have been working diligently with Block in order to bring forward a development that would fit the City's needs and interests, along with maintaining the Mixed-Use feel, albeit industrial and multi-family and not retail necessarily.

Commissioner Neff stated she felt as though Bonner Springs was running out of industrial sites and saw this proposal as filling that need. Commissioner Neff also stated that if we were going forward with changes to the Comprehensive Plan then she wanted to know how the community viewed these land uses. Staff stated the intent was to get as public involvement as possible but that unfortunately we can only make the public get as involved as they wanted.

Chair Gebauer called for a roll call vote on the motion.

AYE – Zeps, Clark, Mesmer, Neff, Perica, Gebauer

NAY – None

MOTION PASSED 6 – 0

Agenda Item # 6– PUBLIC HEARING - BSRZ-03-21 – Rezoning – K-7 and Nettleton Ave – 1401 S. 130th Street

Chair Gebauer introduced New Business Item #6 and called for a staff report.

Staff explained the location of the requested rezoning and how the project tied into the previous discussions of the Comprehensive Plan amendment. Staff explained that the rezoning request was from the blanket zoning of A-1, Agricultural and C-2, General Business to that of I-1, Light Industrial District. Staff stated the property was currently vacant and had been that way for quite some time.

Chair Gebauer asked for a motion to open the Public Hearing, Vice-Chair Zeps made a motion to **OPEN** the Public Hearing with Commissioner Mesmer **SECONDING**.

Chair Gebauer asked if there were any questions of Staff. Vice-Chair Zeps asked if this was the companion zoning for the previous item. Staff stated yes.

Chair Gebauer asked if there was anyone from the public wishing to speak for or against the requested rezoning. Being none he called for a motion to close the Public Hearing. Commissioner Mesmer made a motion to **CLOSE** the hearing, Vice-Chair Zeps **SECONDED**.

Chair Gebauer called for a motion on the rezoning, Vice-Chair Zeps made a motion to **APPROVE** the requested rezoning with Staff recommendations, with Commissioner Perica **SECONDING**.

Chair Gebauer asked for a Roll Call vote.

AYE – Zeps, Clark, Mesmer, Neff, Perica, Gebauer

NAY – None

MOTION PASSED 6 – 0

Agenda Item #7 a, b and c – PUBLIC HEARING – BSZO-02-21 – Zoning Ordinance Amendments

Chair Gebauer introduced New Business Item #7 and called for a staff report.

Staff explained that the following items were those that we had addressed over the course of two workshops in October and November. Three amendments are being proposed:

1. Accessory Building Size limitations
2. Accessory Dwelling Units
3. Architectural Design Standards

Staff spoke on how the new regulations would be blended into the current regulations. Accessory building size requirements would be placed into each zoning category. That way an individual within a specific zoning district could find the majority of information regarding their specific zoning district in one area. Accessory Dwelling Units will become their own section within Article XXII, Supplementary District Regulations along with the Architectural Design Standards.

Chair Gebauer asked for a motion to open the Public Hearing, Vice-Chair Zeps made the motion to **OPEN** the hearing, Commissioner Mesmer **SECONDED**.

Chair Gebauer asked if there was any member of the public wishing to speak on the item, being none a request to close the Public Hearing was requested. Commissioner Perica made a motion to **CLOSE** the hearing, Vice-Chair Zeps **SECONDED**.

Chair Gebauer called for a motion to approve, amend or deny the Zoning Ordinance amendments. Vice-Chair Zeps made a motion to **APPROVE** BSZO-01-21 as written, Commissioner Perica **SECONDED**. Chair Gebauer then asked for a roll call vote.

AYE – Zeps, Clark, Mesmer, Neff, Perica, Gebauer
NAY – None

MOTION PASSED 6 – 0

Agenda Item #8 - CITY PLANNER'S REPORTS

- a. Welcome our new Planning Commissioner – Mr. Jason Cruse, Mr. Cruse will be one of two individuals that represent the Loring Service Area. – Mr. Cruse was not present
- b. In February, we will begin to review our Comprehensive Plan, beginning with the Future Land Use Map
 - i. As we work through this there will be several “Open House” type events to allow for public input. These will lead up to the formal adoption of a revised FLUM.
 - ii. Staff will make small adjustments to the Comprehensive Plan leading up to adoption – items such as demographic information, population information and other graphic information.

Chair Gebauer asked if mailers would be sent out regarding the Comprehensive Plan updates, Vice-Chair Zeps followed that question up by stating that we should do a “little more” than the basics regarding this

issue. Staff stated they would utilize the City's Social Media outlets, possibly post fliers as well as email and other publications.

Chair Gebauer adjourned the meeting at 9:00pm.

DRAFT

Memorandum

Date: February 15, 2022
To: Mayor and City Council
From:

Subject: NONE AT THIS TIME

Recommendation:

Action:

Background:

Discussion:

Financial Impact:

Memorandum

Date: February 15, 2022
To: Mayor and City Council
From: Mark Lee

Subject: ST-01-22 - Site and Landscape Plan for 540 S. 129th Street

Recommendation: Staff recommends the Planning Commission approve the site and landscape plan for Lot 2 of the Bonner Springs Pointe subdivision with the stipulations listed in the Staff report.

Action: Consider a site and landscape plan for Lot 2 of the Bonner Springs Pointe subdivision, 540 S. 129th Street.

Background: The Zoning Regulations state the owner, applicant or developer of property shall submit to the Planning Commission or its designated authority, a site and landscape plan for any building or addition to be constructed in R-3, MX, C-1, C-2, C-S, I-1 or I-2, Special Uses and Planned districts. Site plans at a minimum shall show a unified and organized arrangement of the building and/or buildings, off-street parking, points of ingress or egress, internal traffic circulation, site lighting, landscaping, stormwater calculations, signage, service facilities, utility locations, building service connections for water, sewer and public utilities, curb lines, neighboring curb cuts, on which the building or buildings are proposed to be located and shall minimize any adverse effects on nearby properties. The site plan and landscape plan should contain all applicable information as required by this section and as detailed on the site and landscape plan applications.

The minimum submittal requirements for a site plan application are listed on the Site Plan “Fact Sheet” to include the Site Plan Features and Engineering Design Requirements that must be submitted with a completed application. The property owner of record must sign the application if the applicant is not the owner of record. Site plans must reflect the current requirements established at the time of submittal. The Planning Commission shall approve all changes to the Site Plan Features and Engineering Design Requirements. The minimum requirements may be reduced by the Planning Department for minor improvements and additions depending upon the intensity of the development.

This project is a remodel of an existing building, with removal and relocation of current landscaping, drive-thru lane and parking spaces.

Discussion: ZONING REGULATIONS SITE PLAN REVIEW CRITERIA:

The Zoning Regulations lay out thirteen requirements used to review site plans and ensure they meet the necessary criteria. Those requirements are stated below and followed by Staff's justification.

1. Compatibility of design and exterior materials and appearance with existing and surrounding structures;
 - i. The shell of the structure shall remain as is currently; the exterior will be resurfaced/repainted to match the existing company branding (renderings provided).
2. Appropriate screening of mechanical equipment;

- i. All mechanical equipment shall be screened as required by the Zoning Regulations - Elevations indicate all mechanical equipment to be screened.
3. The building design shall include a variety of materials, with a maximum of 70% of any one material on all elevations of the structure;
 - i. The existing building is being utilized with updates to exterior colors; the exterior will consist of the existing EIFS, cast stone and CMU wainscot.
4. Structure design or choice of materials required as part of any franchise type operation shall be considered;
 - i. Color palette is that of the franchise and is listed as two colors with the wainscot being a third, black accent canopies and top of wall cap flashings will be used as trim pieces.
5. Architectural design should create visual interest and variety through the use of different mixtures, complimentary colors, shadow lines and contrasting shades. The use of walls and a single color, with little detail or completely blank, is discouraged;
 - i. Major exterior renovations of the existing building are not planned, the shape and exterior design of the building shall remain the way it sits today, with the addition of an exterior patio for seating. The exterior shall have new canopies with recessed lighting and integrated drains, existing storefront windows to remain as is.
6. Use of substantial amounts of masonry materials (face brick, stucco, stone) is encouraged;
 - i. The structure consists of EIFS, CMU wainscot with a cast stone cap.
7. The use of aluminum siding, metal roofs panels and extensive mirrored glass surfaces is discouraged;
 - i. N/A
8. Evaluation of building materials shall be based on the quality of its design in relationship and compatibility to building materials in the immediate neighborhood;
 - i. Building is compatible with others in the area
9. The City encourages the use of a variety of architectural design and building materials to give each commercial center a distinct character;
 - i. The area is commercial in nature; the exterior façade of the structure is not being altered and shall remain as is.
10. Loading, delivery and service bays shall be oriented away from residential areas and public streets;
 - i. N/A
11. Design and proportion of buildings shall be compatible with the scale, design and proportion of existing development in the immediate area;
 - i. This building is compatible with the existing development in the immediate area.
12. Lengthy horizontal faces should be varied with differing heights, materials, colors, entrance canopies and landscaping; and
 - i. The rendering provided indicates changes in wall elevation along with the placement of several canopies and landscaping..
13. Consideration of external traffic circulation.

i. The site is accessed from one ingress and egress point, to facilitate better traffic flow through this site the drive-thru que loop will encompass the building allowing for more vehicular stacking within the site.

Financial Impact: NA

City of
Bonner Springs
Agenda Item Cover Sheet

Agenda Item No. 4
CASE NO. ST-01-22

Topic: **Site/Landscape Plan** – Consider a site and landscape plan for Lot 2 of the Bonner Springs Pointe subdivision, 540 S. 129th Street.

Narrative: The Zoning Regulations state the owner, applicant or developer of property shall submit to the Planning Commission or its designated authority, a site and landscape plan for any building or addition to be constructed in R-3, MX, C-1, C-2, C-S, I-1 or I-2, Special Uses and Planned districts. Site plans at a minimum shall show a unified and organized arrangement of the building and/or buildings, off-street parking, points of ingress or egress, internal traffic circulation, site lighting, landscaping, stormwater calculations, signage, service facilities, utility locations, building service connections for water, sewer and public utilities, curb lines, neighboring curb cuts, on which the building or buildings are proposed to be located and shall minimize any adverse effects on nearby properties. The site plan and landscape plan should contain all applicable information as required by this section and as detailed on the site and landscape plan applications.

The minimum submittal requirements for a site plan application are listed on the Site Plan “Fact Sheet” to include the Site Plan Features and Engineering Design Requirements that must be submitted with a completed application. The property owner of record must sign the application if the applicant is not the owner of record. Site plans must reflect the current requirements established at the time of submittal. The Planning Commission shall approve all changes to the Site Plan Features and Engineering Design Requirements. The minimum requirements may be reduced by the Planning Department for minor improvements and additions depending upon the intensity of the development.

This project is a remodel of an existing building, with removal and relocation of current landscaping, drive-thru lane and parking spaces.

Presented by: Mark Lee-City Planner

Staff Recommendation: Staff recommends the Planning Commission approve the site and landscape plan for Lot 2 of the Bonner Springs Pointe subdivision with the stipulations listed in the Staff report.

DRT Review Comments: Included within staff report

Attachments:

Staff Report (5pgs)

Aerial Image (1pg)

Copy of Overall Landscape Demo and Relocation Plan (2pg)

Building Elevation Renderings (pg)

**SITE AND LANDSCAPE PLAN FOR LOT 2 OF THE BONNER SPRINGS POINTE
SUBDIVISION – 540 S. 129TH STREET – REQUEST FOR APPROVAL OF THE SITE PLAN
AS PRESENTED**

MEETING DATE: February 15, 2022
REPORT WRITTEN: February 4, 2022

APPLICANT:

- Batis Development Co.
2933 SW Woodside Drive Suite 200
Topeka, KS 66614

ARCHITECT/ENGINEER

- Davidson Architecture & Engineering
4301 Indian Creek Parkway
Overland Park, KS 66207

REQUEST:

The applicant is requesting approval of the site and landscape plan as submitted.

ZONING:

- The property is currently zoned “C-2” General Business District

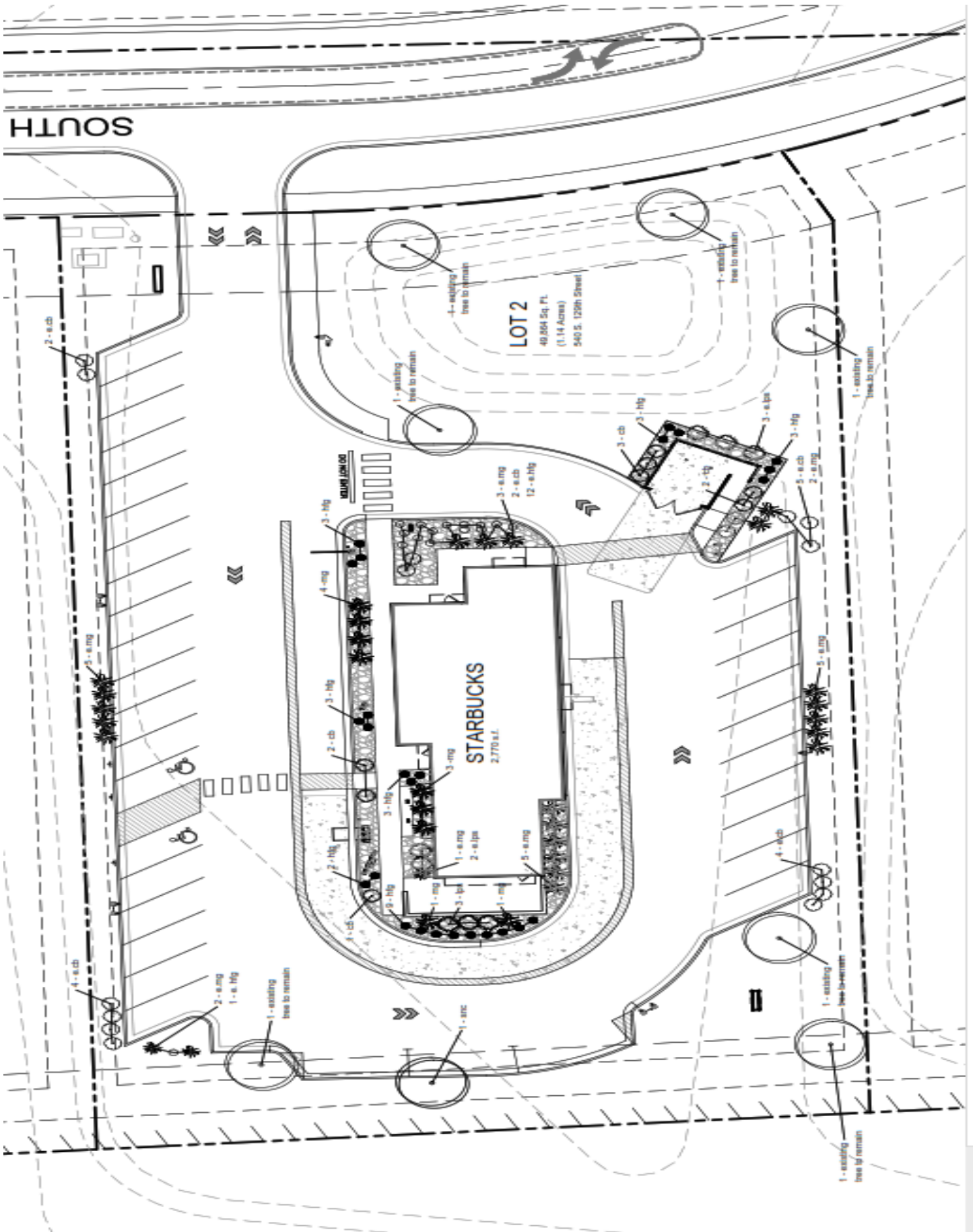
SURROUNDING ZONING:

- The surrounding zoning is C-2; General Business

SITE INFORMATION:

Location -	540 S. 129 th Street – Lot 2 Bonner Springs Pointe I
Lot Size -	1.14 +/- acres; 49,864sqft +/-
Building Use -	2,649sqft - currently vacant – past used as a Burger King restaurant and drive-thru
Parking –	
Required -	One space for each 75sqft of gross floor area, provided however, that drive-in restaurants shall have a minimum of at least ten (10) parking spaces. (Article XXIII; Section 5(2)(k) 34 spaces were provided with the past restaurant.
Provided -	34 spaces total 2 ADA Compliant Parking Spaces
Landscaping:	
Required -	1 tree per 40’ of street frontage; 1 tree per 3,000sqft of landscape open space; No less than 6% of the interior parking lot shall be landscaped and/or 1 tree per parking space
Provided -	The majority of existing landscaping is to remain, landscaping that will be removed from parking area will be relocated along drive-thru lane and around dumpster enclosure to provide more screening for it.
Outdoor Lighting -	To remain as it exists
Signage -	Framework for entry and monument signs are to remain as it exists with new facing, new signage indicated on building – all signage shall comply with the Zoning Regulations of Bonner Springs.
Trash Enclosure -	Existing but with landscaping for additional screening

SOUTH



ZONING REGULATIONS SITE PLAN REVIEW CRITERIA:

The Zoning Regulations lay out thirteen requirements used to review site plans and ensure they meet the necessary criteria. Those requirements are stated below and followed by Staff's justification.

1. Compatibility of design and exterior materials and appearance with existing and surrounding structures;
 - i. *The shell of the structure shall remain as is currently; the exterior will be resurfaced/repainted to match the existing company branding (renderings provided).*
2. Appropriate screening of mechanical equipment;
 - i. *All mechanical equipment shall be screened as required by the Zoning Regulations - Elevations indicate all mechanical equipment to be screened.*
3. The building design shall include a variety of materials, with a maximum of 70% of any one material on all elevations of the structure;
 - i. *The existing building is being utilized with updates to exterior colors; the exterior will consist of the existing EIFS, cast stone and CMU wainscot.*
4. Structure design or choice of materials required as part of any franchise type operation shall be considered;
 - i. *Color palette is that of the franchise and is listed as two colors with the wainscot being a third, black accent canopies and top of wall cap flashings will be used as trim pieces.*
5. Architectural design should create visual interest and variety through the use of different mixtures, complimentary colors, shadow lines and contrasting shades. The use of walls and a single color, with little detail or completely blank, is discouraged;
 - i. *Major exterior renovations of the existing building are not planned, the shape and exterior design of the building shall remain the way it sits today, with the addition of an exterior patio for seating. The exterior shall have new canopies with recessed lighting and integrated drains, existing storefront windows to remain as is.*
6. Use of substantial amounts of masonry materials (face brick, stucco, stone) is encouraged;
 - i. *The structure consists of EIFS, CMU wainscot with a cast stone cap.*
7. The use of aluminum siding, metal roofs panels and extensive mirrored glass surfaces is discouraged;
 - i. *N/A*
8. Evaluation of building materials shall be based on the quality of its design in relationship and compatibility to building materials in the immediate neighborhood;
 - i. *Building is compatible with others in the area*
9. The City encourages the use of a variety of architectural design and building materials to give each commercial center a distinct character;
 - i. *The area is commercial in nature; the exterior façade of the structure is not being altered and shall remain as is.*
10. Loading, delivery and service bays shall be oriented away from residential areas and public streets;
 - i. *N/A*
11. Design and proportion of buildings shall be compatible with the scale, design and proportion of existing development in the immediate area;
 - i. *This building is compatible with the existing development in the immediate area.*
12. Lengthy horizontal faces should be varied with differing heights, materials, colors, entrance canopies and landscaping; and
 - i. *The rendering provided indicates changes in wall elevation along with the placement of several canopies and landscaping..*
13. Consideration of external traffic circulation.
 - i. *The site is accessed from one ingress and egress point, to facilitate better traffic flow through this site the drive-thru que loop will encompass the building allowing for more vehicular stacking within the site.*

STANDING SITE PLAN CONDITIONS:

1. Changes or deviations from the approved Site/Landscape Plan shall require resubmittal to the City Planner for review and approval. If the changes are substantial, resubmittal to the Planning Commission for approval shall be required;
2. Structure shall adhere to all building codes as adopted by the City;
3. An approved Site/Landscape Plan shall be valid if a building permit is issued within 180 days from the date of approval by the Planning Commission;
4. All Freestanding Signs and Wall Signs require a Sign Permit and Fee to be approved by the City Planner;
5. All utilities shall be placed underground; and
6. Erosion control per City Standards to be installed and maintained during construction.

CITY PLANNER COMMENTS:

1. All site or building signage shall adhere to Article XXXI of the Bonner Springs Zoning Regulations and be required to obtain sign permits.

DESIGN REVIEW TEAM (DRT) COMMENTS:

Building Official:

1. None at this time, building plans to be submitted upon approval

City Engineer:

1. Silt fence needs to be located outside/downstream of the limits of disturbance, if any.

Public Works Director:

1. None at this time

STAFF RECOMMENDATION:

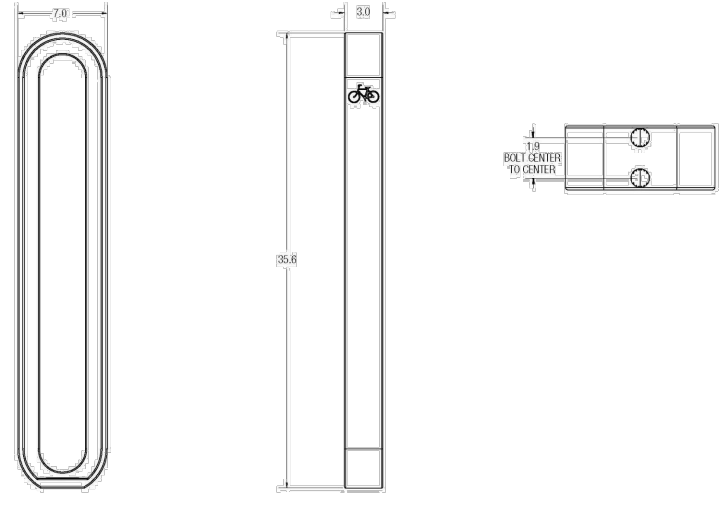
The Development Staff recommends **approval** of the Site/Landscape Plan subject to the conditions listed below and to include all **standing conditions** listed above. Staff recommends approval of the site and landscape application, with the following stipulations:

1. **All Standing Site Plan Conditions shall be adhered to.**
2. **All comments provided by the Design Review Team shall be adhered to as written in the Staff report.**
3. **All site improvements indicated on the site plan shall be completed as shown or recommended by the DRT.**
4. **All site or building signage shall adhere to Article XXXI of the Bonner Springs Zoning Regulations and be required to obtain proper permits.**
5. **Trees shall be planted in manner as to avoid future conflict with the utilities around and upon the site.**
6. **Silt fence needs to be located outside/downstream of the limits of disturbance.**
7. **Upon approval, two (2) complete full size 24" x 36" and one (1) 11" x 17" signed and sealed Site Plan shall be submitted to the Planning Department for final approval and release to the Building Department for issuance of a building permit.**

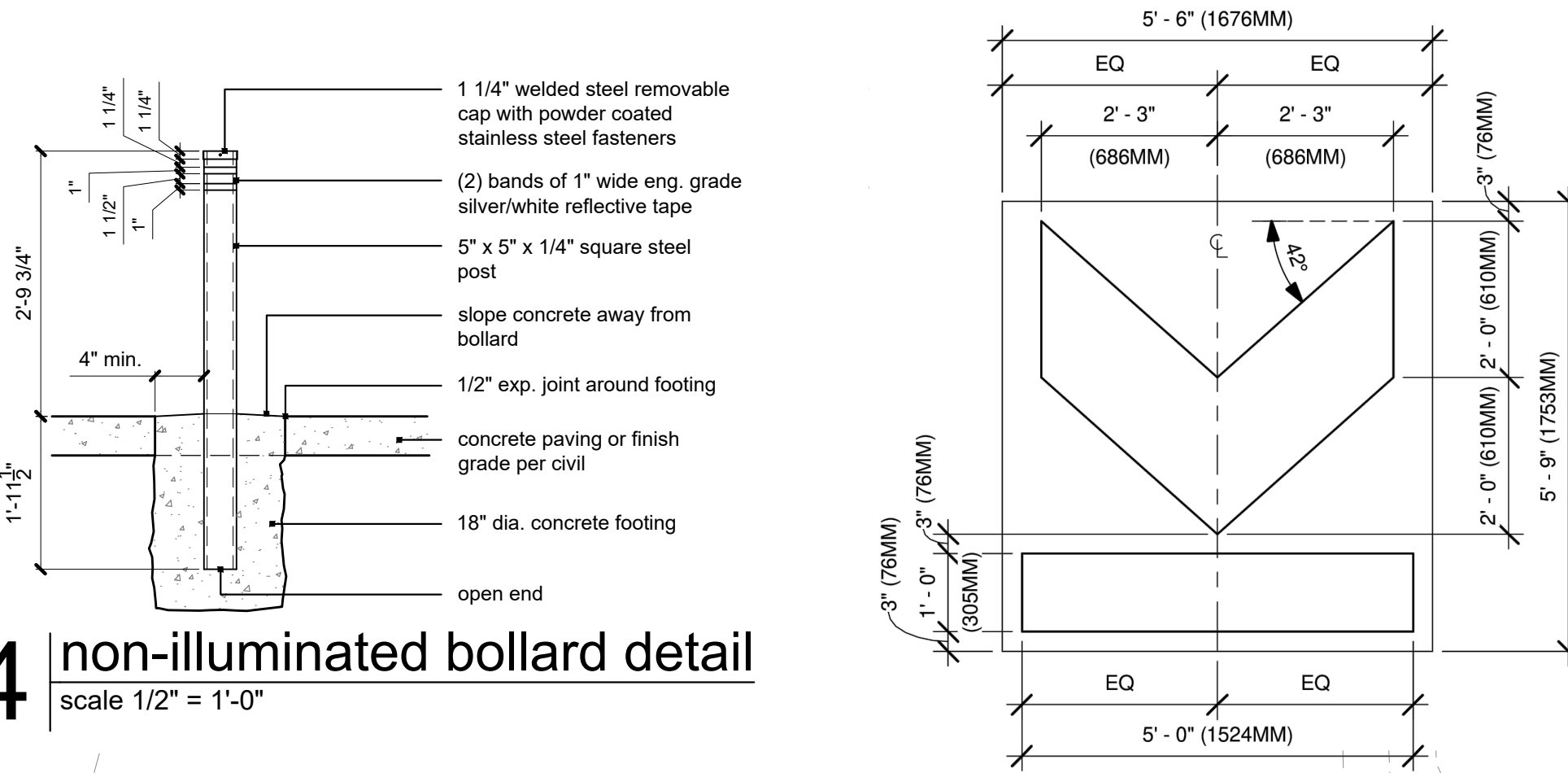
general site plan notes:

- All construction shall conform to the standards and specifications of Bonner Springs, Kansas.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify exist. surface & subsurface ground conditions prior to start of construction.
- Slopes shall maintain a maximum 3:1 slope.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- General contractor and all subcontractors must register with the Building Department before issuance of permit.
- Energy code requirements and inspections are to be performed by a third party inspector, supplied by General Contractor and/or owner. The City will not perform energy related inspections, however, documentation is required to verify compliance of the energy code requirements.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. Contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- All exterior utility services shall be painted to match the primary building color.
- Prior to final inspection, the general contractor shall meet with the Bonner Springs Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- Caulk joint at perimeter of building around sidewalk. Color to match building colors. GC shall take care not to seal any exterior finish drainage elements.

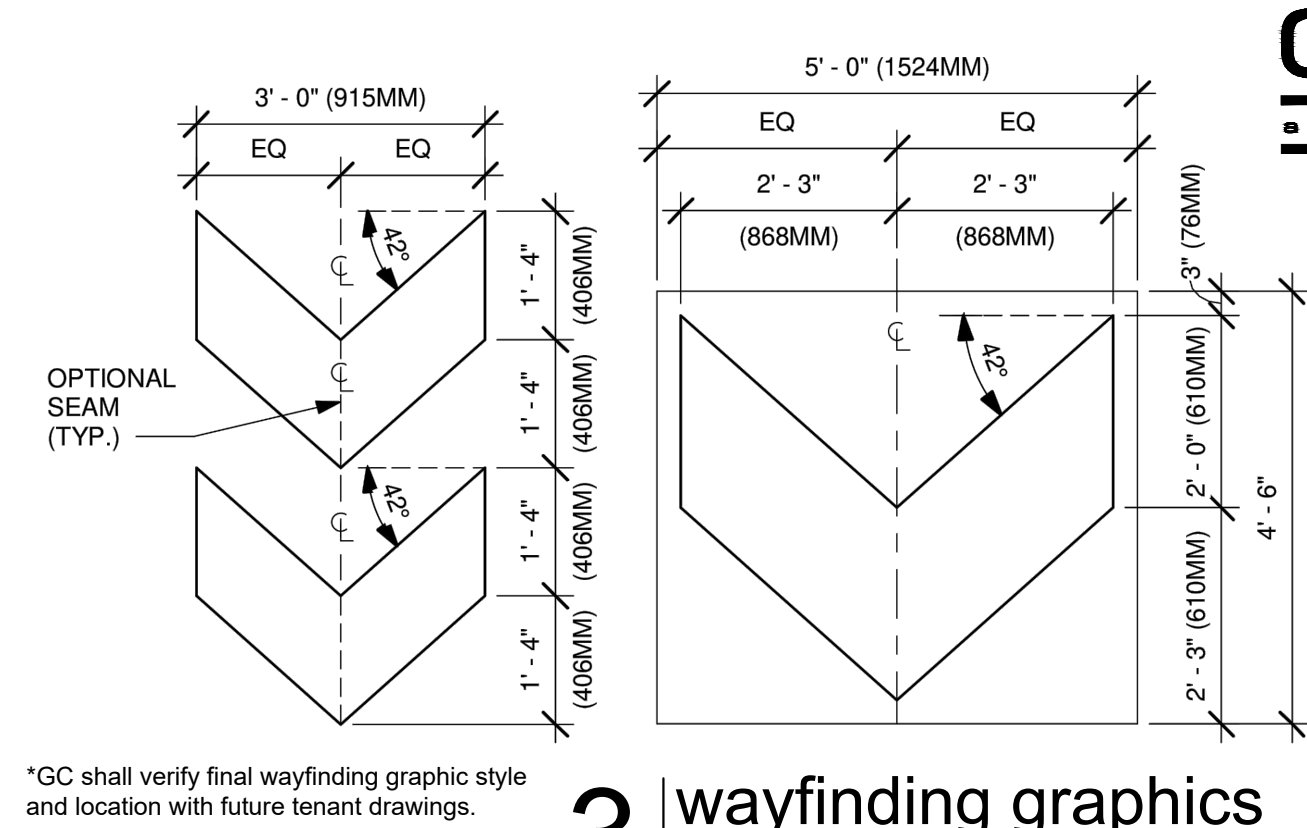
5 bike rack detail
not to scale



4 non-illuminated bollard detail
scale 1/2" = 1'-0"



3 wayfinding graphics
not to scale

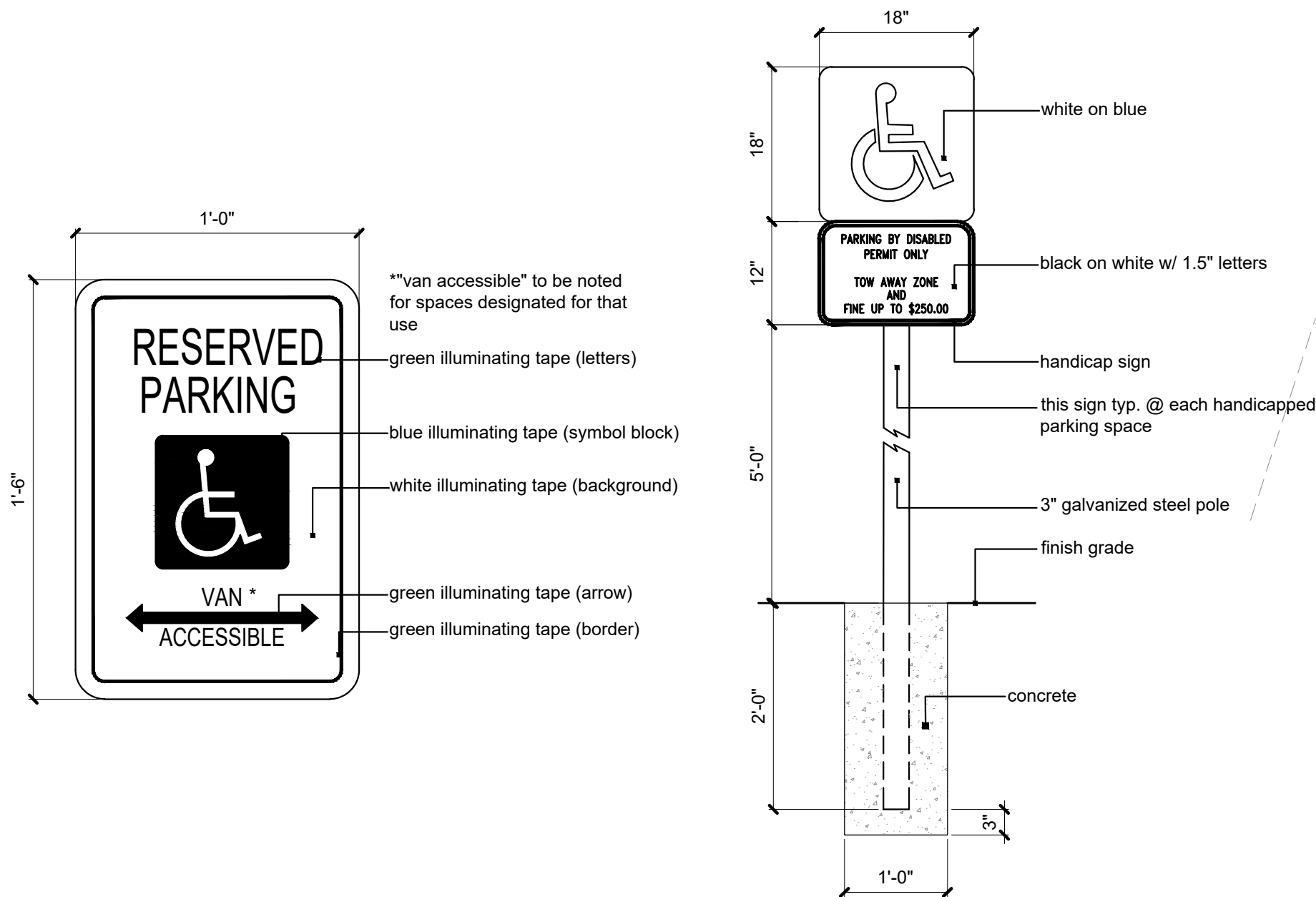


site plan notes: ##

- Existing pylon sign placement to remain. Replace existing sign cabinet per construction vendor requirements. GC shall verify existing power is functioning properly to meet new signage vendor requirements.
- Existing entry monument sign placement to remain. Replace existing sign cabinet per sign vendor requirements. GC shall verify existing power is functioning properly to meet new signage vendor requirements.
- New 5-panel menu board per tenant requirements. GC shall provide adequate electrical per tenant signage vendor requirements.
- New order screen, canopy and square bollard per tenant requirements. GC shall provide adequate electrical per tenant signage vendor requirements.
- New pre-menu board and square bollard per tenant requirements. GC shall provide adequate electrical per tenant signage vendor requirements.
- New clearance bar and square bollard per tenant requirements.
- Existing trash enclosure and concrete pad to remain.
- New 11'-0" x 29'-3" concrete patio with 1'-0" thick x 2'-0" tall concrete knee wall per detail.
- Existing concrete sidewalk to remain. Protect throughout construction. GC shall repair and replaced any damaged or cracked sections of sidewalk with new to match existing.
- Existing accessible ramp. GC shall verify existing ramps are in good working condition and replace any damaged or cracked concrete as necessary. Ramps shall not exceed 1:12 slope and landings shall not exceed 2% cross slope in any direction.
- New ADA accessible ramp per civil drawings.
- 2'-0" wide diagonal striped edge around drive-thru lane. Use 4" wide white striping at 30" o.c.
- Existing site lighting base and poles to remain. Replace light fixtures with LED heads per electrical drawings.
- ADA parking stall per civil drawings.
- Handicap parking sign per detail.
- Furnish and install 'Mobile Order Pick-up' signage per tenant requirements.
- New 4" solid white striping, typ.
- Existing grease trap to remain.
- Furnish and install new 2'-8" x 16'-0" concrete pad and (2) Olympia bike racks, model: Skoly per Starbucks standards.
- Furnish and install new 10'-0" wide concrete pad at drive-thru lane to extend 12' before order point and 12' after pick-up window.
- Detector loop per tenant requirements.
- Painted directional arrow per detail.
- Existing electrical transformer to remain.
- Furnish and install 12" stop bar and 'DO NOT ENTER' painted parking striping in 4" white letters.
- Existing gas meter to remain.
- Existing FDC to remain. Protect during construction.
- Directional 'Thank you / exit' sign per tenant sign vendor requirements. GC shall provide adequate power to meet new signage vendor requirements.
- New concrete curb and gutter to match existing per civil drawings.
- Existing asphalt pavement to be protected throughout construction. GC shall replace or patch any cracks or depressions in existing asphalt and re-seal throughout the site as required.
- Painted striped path along accessible pedestrian path.
- Existing bollard to remain. GC shall paint black and install reflective tape to match bollard detail.

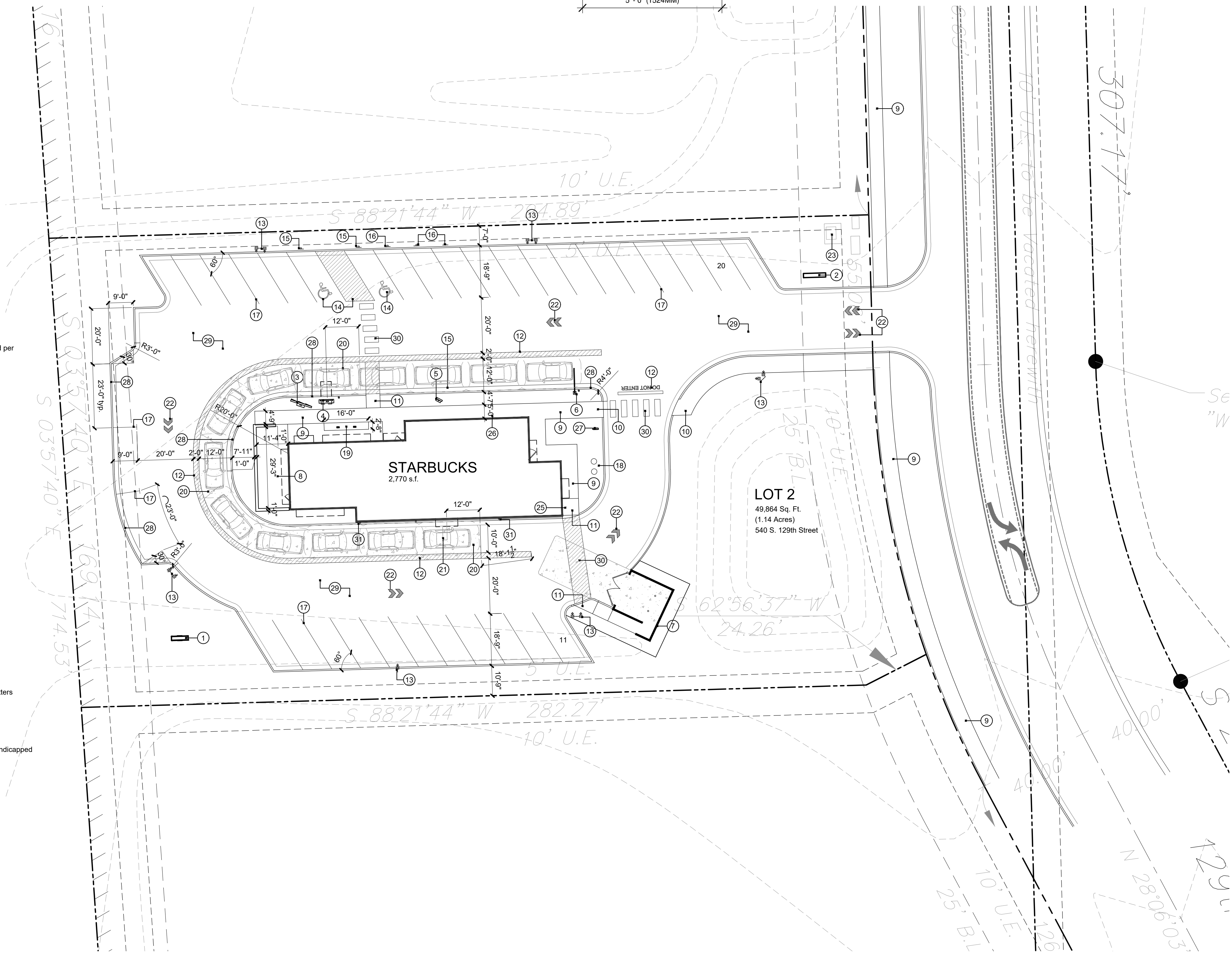
project synopsis:

governing municipality:	Bonner Springs, Kansas
governing code:	2015 International Building Code
exist. zoning:	C-2
exist. site area:	1.14 acres +/-
exist. building area:	2,649 sq. ft.
exist. impervious area:	27,894 sq. ft. (56%)
exist. green space:	21,970 sq. ft. (44%)
prop. impervious area:	28,965 sq. ft. (58.1%)
prop. green space:	20,899 sq. ft. (41.9%)
existing parking:	34 spaces
prop. parking:	32 + 2 h.c. = 34 spaces
exist. const. type:	VB
exist. stories:	one
exist. building height:	21'-0"
prop. building height:	18'-5"
fire suppression:	yes, existing system to be modified per future tenant requirements



2 typical handicap sign detail
scale: 1" = 20'-0"

1 site plan
scale: 1" = 20'-0"

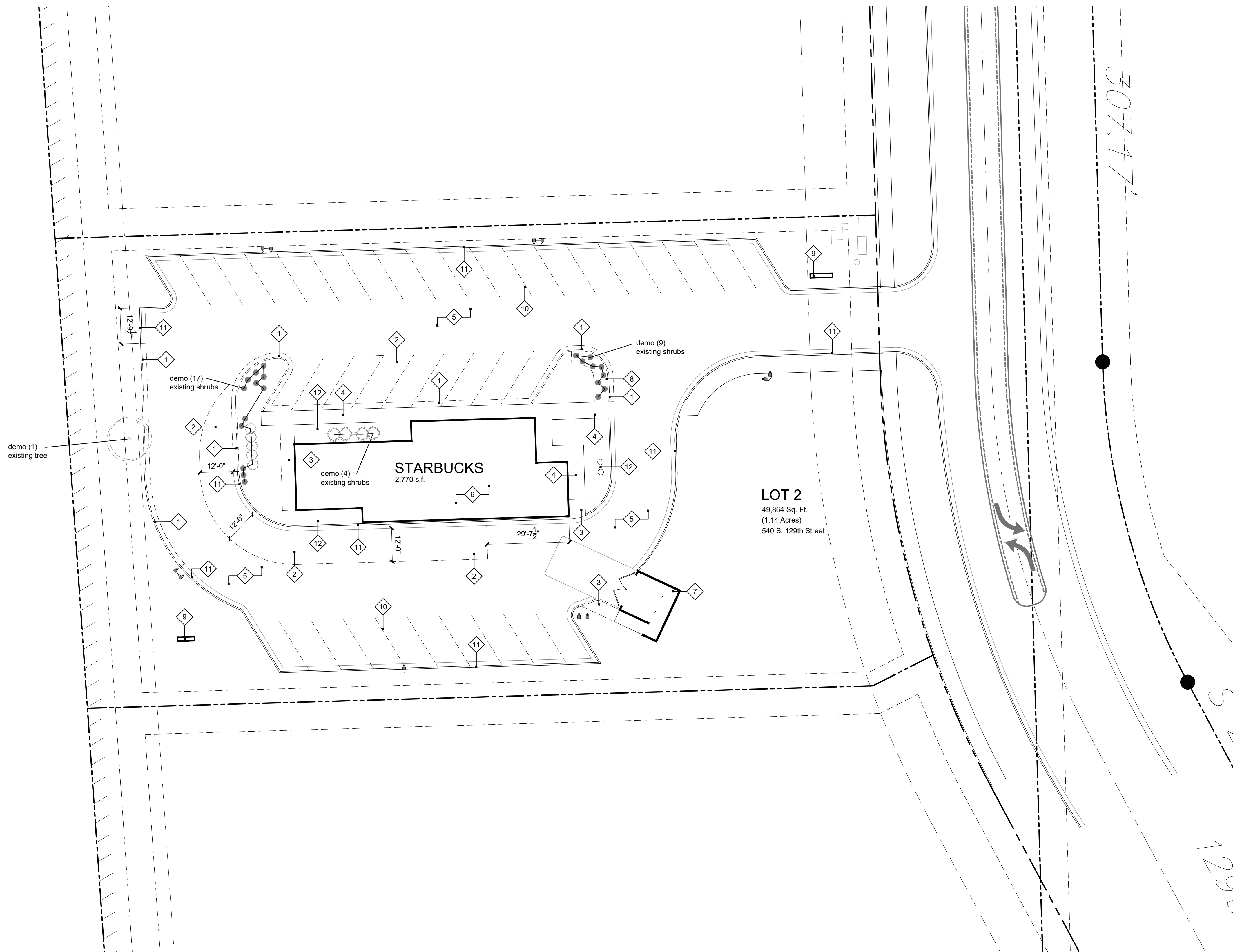


- Davidson Architecture and Engineering specifically disclaims any existing building conditions or dimensions; nor existing mechanical, electrical, or plumbing systems.
- These plans are for a specific project as designated by Davidson Architecture and Engineering. They are not to be used in any way, whole or in part for any other project or purpose.
- Existing walls noted to remain are not to be affected by demolition work. Dashed lines and areas annotated are to be removed per demolition notes.
- General contractor shall familiarize himself / herself with the project construction documents and notify the project site and notify the Architect and building Owner of any discrepancies with each.
- General contractor to provide all permits and special inspections as required by the governing municipality for the project.
- General contractor and all related sub-contractors shall be familiar with and understand all local codes, laws, and agencies that govern the work to be performed.
- The general contractor shall verify the locations of all utilities prior to any demolition or construction and verify hookup with all utility companies as required.
- General contractor to be responsible for daily clean-up and final clean-up with project is complete.
- General contractor shall be responsible for appropriate forms of waste removal and disposal.
- All testing for systems or structures as required by code shall be the responsibility of the general contractor.
- Existing low voltage wiring and associated fixtures, where unused, shall be removed, stubbed and capped as required.
- Refer to structural engineering drawings for reinforcing details prior to any demo work performed.
- Existing mechanical system and ductwork, where newly exposed and unused shall be removed, stubbed and capped as required.
- Existing plumbing, where newly exposed and unused shall be removed, stubbed and capped as required.
- Existing lighting that is removed shall be preserved and stockpiled on site for owner re-use.
- Existing doors that are removed shall be preserved and stockpiled on site for owners re-use.

1. Demolish existing concrete curb and prep for new curb, concrete drive-thru lane and parallel parking.
2. Demolish existing asphalt pavement and prep for new concrete drive-thru lane.
3. Demolish portion of existing sidewalk.
4. Existing concrete sidewalk to be protected throughout construction. Replace or patch any damaged or cracked areas of sidewalk throughout the site.
5. Existing asphalt pavement to be protected throughout construction. GC shall replace or patch any cracks or depressions in existing asphalt throughout the site as required.
6. Existing building to remain. See building drawings for limits of building remodel.
7. Existing trash enclosure and concrete pad to remain.
8. Demolish existing shrubs and trees. GC shall field verify all shrubs not marked for demo are in good condition and shall be protected during construction. GC shall replace any additional dead or damaged shrubs on site with like species as required.
9. Existing site pylon / monument / directional sign placement to remain. Replace existing sign cabinet per construction vendor requirements. GC shall verify existing power is functioning properly to meet new signage vendor requirements.
10. Remove existing pavement striping and prep for new striping per site plan.
11. Existing concrete curb and gutter to remain.
12. Remove all existing weeds, trim existing overgrown landscaping and remove existing wood mulch for installation of new rock ground cover.

Existing landscaping to be demolished:

- Shrubs:
- (21) hameln fountain grass
 - (5) common boxwood
 - (4) 'little princess' spirea



1 demolition site plan



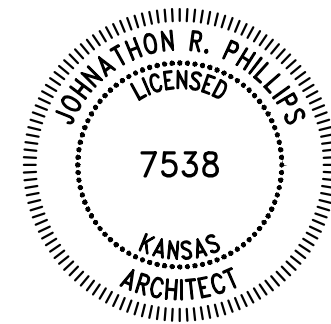
sheet number

D1.1

drawing type
permit

project number
21274

4301 Indian Creek Parkway
Overland Park, KS 66207
phone: 913.451.8390
fax: 913.451.8391
www.davidsonae.com



a building remodel for

STARBUCKS

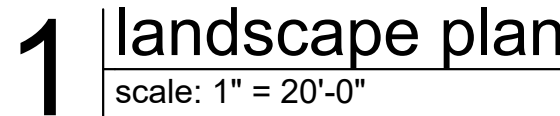
540 South 129th Street

Bonner Springs, Kansas 66012

date
01.21.2022
drawn by
DAE
checked by
DAE
revisions

		ITEM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION	MATURE HEIGHT	
EXISTING TO REMAIN	DECIDUOUS TREE		existing	8	existing to remain	unknown	e.t.r.	e.t.r.
	EVERGREEN SHRUB		e.lps	5	'little princess' spirea	spirea japonica 'little princess'	3 - 5 gallon / cont.	
			e.cb	17	common boxwood	boxus sempervirens	3 - 5 gallon / cont.	
	GRASSES		e.mg	24	maiden grass	miscanthus sinensis 'gracillimus'	1 gallon / cont.	
			e.hfg	13	hameln fountain grass	pennisetum alopecuroides 'hameln'	1 gallon / cont.	
NEW	DECIDUOUS TREE		snc	1	'spring snow' crabapple	malus 'spring snow'	6' height / b & b	15'
	EVERGREEN SHRUB		lps	3	'little princess' spirea	spirea japonica 'little princess'	3 - 5 gallon / cont.	
			cb	8	common boxwood	boxus sempervirens	3 - 5 gallon / cont.	
	GRASSES		mg	9	maiden grass	miscanthus sinensis 'gracillimus'	1 gallon / cont.	
			hfg	26	hameln fountain grass	pennisetum alopecuroides 'hameln'	1 gallon / cont.	
GROUND COVER		ROCK	1"- 3" WASHED RIVER ROCK					

- Landscaping shall be coordinated with the location of utilities, driveways and traffic clearance zones.
- The contractor doing excavation on public right-of-way shall give 48 hours advance notice to and obtain information from utility companies.
- Prior to commencement of work, the contractor shall notify all those companies which have facilities in the near vicinity of the construction to be performed.
- Before underground, overhead, utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies to locate their utilities before actual construction.
- Contractor shall verify location of and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor to the satisfaction of the owner at no additional expense.
- All landscape materials shall be installed in accordance with the current planting procedures established by the most recent addition of the American Standard for Nursery Stock.
- Trees planted per this plan shall be installed during the spring (march 15 through June 15) or fall (september 15 through december 1). Written city approval will be required for planting during other times of the year.
- Stake and guy all trees per planting details.
- Install all shrubs and groundcover per planting details.
- Elevation of top of mulch shall be 1/2" below any adjacent pavement/turf areas.
- Root stimulator shall be applied to the soil backfill of each plant during installation.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- Contractor shall stake plant locations in the field and have approval by the Landscape Architect before proceeding with installation.
- Contractor shall install all plant material for a period of one (1) year from date of initial acceptance. Contractor is responsible for maintaining plant material until acceptance is received. Maintenance shall include watering, maintaining plants in vertical position and shrub bed weed control.
- All plant material shall meet or exceed minimum requirements defined by the "American Standard for Nursery Stock" ANSI Z60.1.
- No plant material shall be substituted without written approval of the Landscape Architect per specifications.
- Trees and seasonal color areas shall be mulched with three (3) inches minimum shredded hardwood mulch. Planting beds as delineated shall be separated from pavement/turf areas with metal edging and mulched with three (3) inches minimum shredded hardwood mulch over weed barrier fabric, except where otherwise specified.
- All existing plant material to be retained shall be wrapped with orange, or bright, colored plastic snow fence around base of trees and around all shrubs. Stake to hold in place during construction.
- All shrubs used as parking buffer to be min. 18" tall at planting and maintained 3'-0" max. height. Install plants not to encroach upon cars parked, when at full growth.
- All trees with above a 2" caliper shall be double staked, while smaller trees shall be single staked.
- Ground mechanical and electrical equipment shall be wholly screened from street right-of-way and residential developments.
- Maximum slope shall be not greater than 3 : 1.
- All portions of site not covered by paving, mulch, plantings, etc. are to be sodded. Sod shall extend to all disturbed areas and shall include portions of right of way if necessary. Maintain positive drainage.
- Slightly mound all islands at 2" per 12' run.
- Set shrubs a minimum of 3 feet from other site structures - walls, walks or curbs.
- Any stiff branched, fruiting or plants with thorns that can damage vehicles are strictly prohibited.
- Utilize washed river rock cover at all planted areas adjacent to building perimeter and hardwood mulch in planting beds throughout remainder of site, unless noted otherwise.
- Contractor shall clean all trash, weeds and unwanted planting material in existing planting beds and throughout site.
- Contractor shall limit the parking lot and existing trash enclosure of unwanted weeds and organic plant material.
- Contractor shall review all existing plant material on site and replace existing dead or damaged plants with new.
- Contractor shall install grass seed in any dead or bare grass spots around the project site.



project number
21274







Memorandum

Date: February 15, 2022
To: Mayor and City Council
From: Mark Lee

Subject: ST-02-22 - Site and Landscape Plan for 11845 Kaw Drive

Recommendation: Staff recommends the Planning Commission approve the site and landscape plan for 11845 Kaw Drive with the stipulations listed in the Staff report.

Action: Consider a site and landscape plan for 11845 Kaw Drive.

Background: The Zoning Regulations state the owner, applicant or developer of property shall submit to the Planning Commission or its designated authority, a site and landscape plan for any building or addition to be constructed in R-3, MX, C-1, C-2, C-S, I-1 or I-2, Special Uses and Planned districts. Site plans at a minimum shall show a unified and organized arrangement of the building and/or buildings, off-street parking, points of ingress or egress, internal traffic circulation, site lighting, landscaping, stormwater calculations, signage, service facilities, utility locations, building service connections for water, sewer and public utilities, curb lines, neighboring curb cuts, on which the building or buildings are proposed to be located and shall minimize any adverse effects on nearby properties. The site plan and landscape plan should contain all applicable information as required by this section and as detailed on the site and landscape plan applications.

The minimum submittal requirements for a site plan application are listed on the Site Plan “Fact Sheet” to include the Site Plan Features and Engineering Design Requirements that must be submitted with a completed application. The property owner of record must sign the application if the applicant is not the owner of record. Site plans must reflect the current requirements established at the time of submittal. The Planning Commission shall approve all changes to the Site Plan Features and Engineering Design Requirements. The minimum requirements may be reduced by the Planning Department for minor improvements and additions depending upon the intensity of the development.

Discussion:

ZONING REGULATIONS SITE PLAN REVIEW CRITERIA:

The Zoning Regulations lay out thirteen requirements used to review site plans and ensure they meet the necessary criteria. Those requirements are stated below and followed by Staff’s justification.

1. Compatibility of design and exterior materials and appearance with existing and surrounding structures;

i. No structure is proposed at this time, the property is located within the floodplain; placing structures is a difficult and delicate task.

2. Appropriate screening of mechanical equipment;

i. None shown - All mechanical equipment shall be screened as required by the Zoning Regulations.

3. The building design shall include a variety of materials, with a maximum of 70% of any one material on all elevations of the structure;

i. No building shown

4. Structure design or choice of materials required as part of any franchise type operation shall be considered;

i. N/A

5. Architectural design should create visual interest and variety through the use of different mixtures, complimentary colors, shadow lines and contrasting shades. The use of walls and a single color, with little detail or completely blank, is discouraged;

i. N/A.

6. Use of substantial amounts of masonry materials (face brick, stucco, stone) is encouraged;

i. N/A

7. The use of aluminum siding, metal roofs panels and extensive mirrored glass surfaces is discouraged;

i. N/A

8. Evaluation of building materials shall be based on the quality of its design in relationship and compatibility to building materials in the immediate neighborhood;

i. N/A

9. The City encourages the use of a variety of architectural design and building materials to give each commercial center a distinct character;

i. N/A.

10. Loading, delivery and service bays shall be oriented away from residential areas and public streets;

i. N/A

11. Design and proportion of buildings shall be compatible with the scale, design and proportion of existing development in the immediate area;

i. N/A

12. Lengthy horizontal faces should be varied with differing heights, materials, colors, entrance canopies and landscaping; and

i. N/A

13. Consideration of external traffic circulation.

i. The site is accessed from Kaw Drive (32 Highway), KDOT approval will be required. There is currently a median separation at the ingress/egress point to the site.

Financial Impact: NA

City of
Bonner Springs
Agenda Item Cover Sheet

Agenda Item No. 5
CASE NO. ST-02-22

Topic: **Site/Landscape Plan** – Consider a site and landscape plan for 11845 Kaw Drive.

Narrative: The Zoning Regulations state the owner, applicant or developer of property shall submit to the Planning Commission or its designated authority, a site and landscape plan for any building or addition to be constructed in R-3, MX, C-1, C-2, C-S, I-1 or I-2, Special Uses and Planned districts. Site plans at a minimum shall show a unified and organized arrangement of the building and/or buildings, off-street parking, points of ingress or egress, internal traffic circulation, site lighting, landscaping, stormwater calculations, signage, service facilities, utility locations, building service connections for water, sewer and public utilities, curb lines, neighboring curb cuts, on which the building or buildings are proposed to be located and shall minimize any adverse effects on nearby properties. The site plan and landscape plan should contain all applicable information as required by this section and as detailed on the site and landscape plan applications.

The minimum submittal requirements for a site plan application are listed on the Site Plan “Fact Sheet” to include the Site Plan Features and Engineering Design Requirements that must be submitted with a completed application. The property owner of record must sign the application if the applicant is not the owner of record. Site plans must reflect the current requirements established at the time of submittal. The Planning Commission shall approve all changes to the Site Plan Features and Engineering Design Requirements. The minimum requirements may be reduced by the Planning Department for minor improvements and additions depending upon the intensity of the development.

Presented by: Mark Lee-City Planner

Staff Recommendation: Staff recommends the Planning Commission approve the site and landscape plan for 11845 Kaw Drive with the stipulations listed in the Staff report.

DRT Review Comments: Included within staff report

Attachments:

Staff Report (4pgs)

Aerial Image (1pg)

Copy of Site/Landscape (5pgs)

SITE AND LANDSCAPE PLAN FOR 11845 KAW DRIVE– REQUEST FOR APPROVAL OF THE SITE PLAN AS PRESENTED

MEETING DATE: February 15, 2022
REPORT WRITTEN: February 4, 2022

APPLICANT:

- Brian Walters
10625 W. 57th Street
Shawnee, KS 66203

ARCHITECT/ENGINEER

- BHC Rhodes
7101 College Blvd.
Overland Park, KS 66210

REQUEST:

The applicant is requesting approval of the site and landscape plan as submitted.

ZONING:

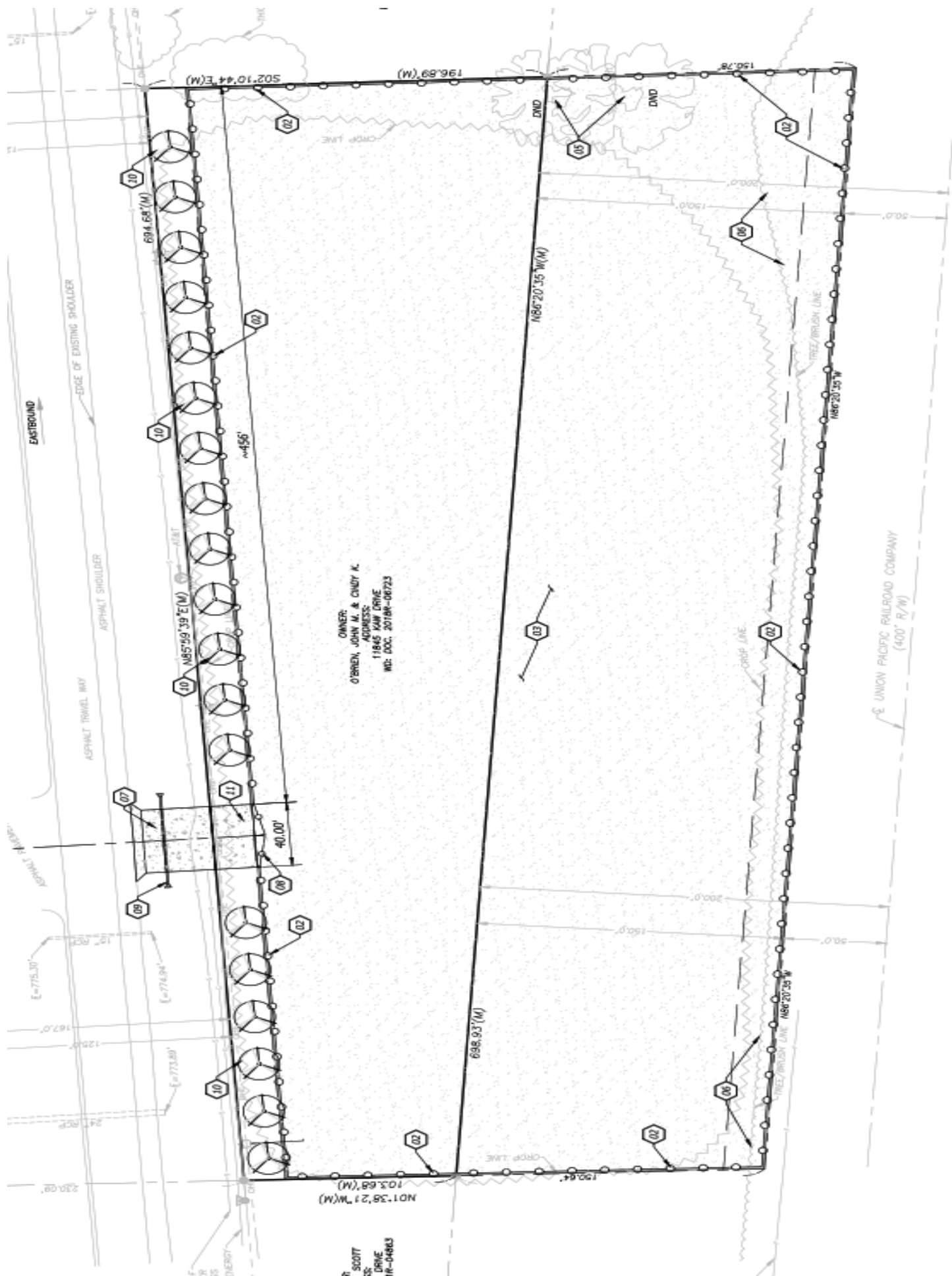
- The property is currently zoned “I-1” Light Industrial District

SURROUNDING ZONING:

- North 32 Highway – beyond highway “C-S” Highway Service District
- South Union Pacific R.R.
- East I-1 Light Industrial District
- West C-2 General Business District

SITE INFORMATION:

Location -	11845 Kaw Drive
Lot Size -	4.8 acre +/- once lease is established with Union Pacific R.R.
Building Use -	No building – open lot for outdoor storage facility
Parking –	
Required -	N/A
Provided -	N/A – open parking throughout site
Landscaping:	
Required -	One tree per forty (40) feet or portion thereof of street frontage, public or private, shall be required within the landscape setback abutting said street frontage. Said trees may be clustered or arranged within the setback and need not be placed evenly at 40-foot intervals. 17 trees required
Provided -	19 trees front Kaw Drive (32 Highway) 2 existing trees are indicated as remaining 21 total
Outdoor Lighting -	None indicated on site plan
Signage -	None shown on site plan – all signage shall comply with the Zoning Regulations of Bonner Springs.
Trash Enclosure -	None



ZONING REGULATIONS SITE PLAN REVIEW CRITERIA:

The Zoning Regulations lay out thirteen requirements used to review site plans and ensure they meet the necessary criteria. Those requirements are stated below and followed by Staff's justification.

1. Compatibility of design and exterior materials and appearance with existing and surrounding structures;
i. No structure is proposed at this time, the property is located within the floodplain; placing structures is a difficult and delicate task.
2. Appropriate screening of mechanical equipment;
i. None shown - All mechanical equipment shall be screened as required by the Zoning Regulations.
3. The building design shall include a variety of materials, with a maximum of 70% of any one material on all elevations of the structure;
i. No building shown
4. Structure design or choice of materials required as part of any franchise type operation shall be considered;
i. N/A
5. Architectural design should create visual interest and variety through the use of different mixtures, complimentary colors, shadow lines and contrasting shades. The use of walls and a single color, with little detail or completely blank, is discouraged;
i. N/A.
6. Use of substantial amounts of masonry materials (face brick, stucco, stone) is encouraged;
i. N/A
7. The use of aluminum siding, metal roofs panels and extensive mirrored glass surfaces is discouraged;
i. N/A
8. Evaluation of building materials shall be based on the quality of its design in relationship and compatibility to building materials in the immediate neighborhood;
i. N/A
9. The City encourages the use of a variety of architectural design and building materials to give each commercial center a distinct character;
i. N/A.
10. Loading, delivery and service bays shall be oriented away from residential areas and public streets;
i. N/A
11. Design and proportion of buildings shall be compatible with the scale, design and proportion of existing development in the immediate area;
i. N/A
12. Lengthy horizontal faces should be varied with differing heights, materials, colors, entrance canopies and landscaping; and
i. N/A
13. Consideration of external traffic circulation.
i. The site is accessed from Kaw Drive (32 Highway), KDOT approval will be required. There is currently a median separation at the ingress/egress point to the site.

STANDING SITE PLAN CONDITIONS:

1. Changes or deviations from the approved Site/Landscape Plan shall require resubmittal to the City Planner for review and approval. If the changes are substantial, resubmittal to the Planning Commission for approval shall be required;
2. Structure shall adhere to all building codes as adopted by the City;
3. An approved Site/Landscape Plan shall be valid if a building permit is issued within 180 days from the date of approval by the Planning Commission;
4. All Freestanding Signs and Wall Signs require a Sign Permit and Fee to be approved by the City Planner;
5. All utilities shall be placed underground; and
6. Erosion control per City Standards to be installed and maintained during construction.

CITY PLANNER COMMENTS:

1. All site or building signage shall adhere to Article XXXI of the Bonner Springs Zoning Regulations and be required to obtain sign permits.
2. An exterior lighting plan must be submitted for review prior to installation. This lighting plan shall adhere to Article V; Section 11 of the Bonner Springs Zoning Regulations.
3. Floodplain development permit is required
4. KDOT entrance approval

DESIGN REVIEW TEAM (DRT) COMMENTS:

Building Official:

1. None at this time, building plans to be submitted upon approval

City Engineer:

1. Silt fence needs to be located outside/downstream of the limits of disturbance, if any.

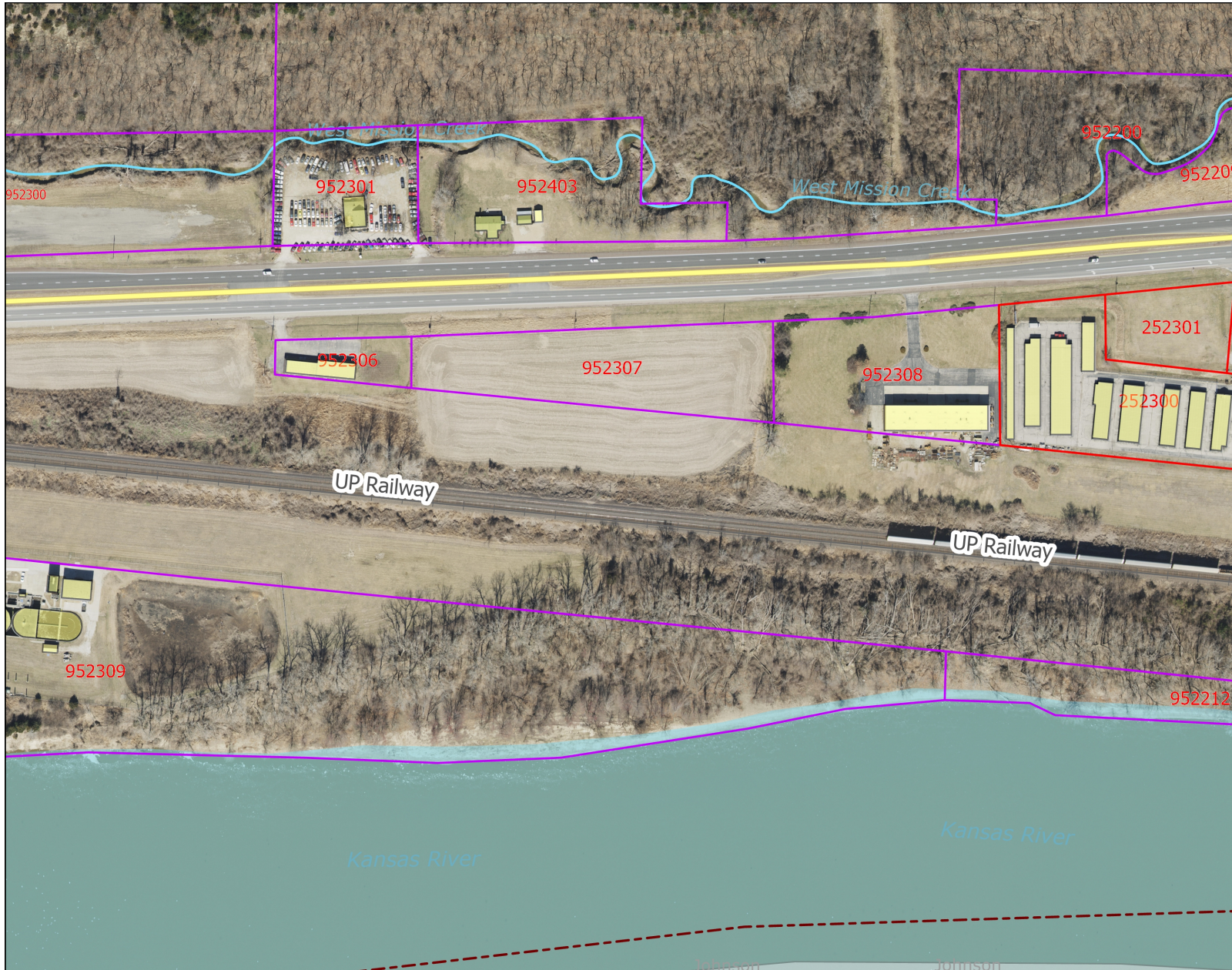
Public Works Director:

1. None at this time

STAFF RECOMMENDATION:

The Development Staff recommends **approval** of the Site/Landscape Plan subject to the conditions listed below and to include all **standing conditions** listed above. Staff recommends approval of the site and landscape application, with the following stipulations:

1. **All Standing Site Plan Conditions shall be adhered to.**
2. **All comments provided by the Design Review Team shall be adhered to as written in the Staff report.**
3. **All site improvements indicated on the site plan shall be completed as shown or recommended by the DRT.**
4. **All site or building signage shall adhere to Article XXXI of the Bonner Springs Zoning Regulations and be required to obtain proper permits.**
5. **An exterior lighting plan must be submitted for review prior to installation. This lighting plan shall adhere to Article V; Section 11 of the Bonner Springs Zoning Regulations.**
6. **Floodplain development permit is required**
7. **KDOT entrance approval**
8. **Silt fence needs to be located outside/downstream of the limits of disturbance.**
9. **Upon approval, two (2) complete full size 24" x 36" and one (1) 11" x 17" signed and sealed Site Plan shall be submitted to the Planning Department for final approval and release to the Building Department for issuance of a building permit.**



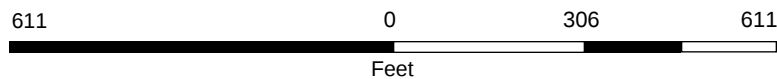
Legend

- Parks
- Street Lables
- Kansas Regional Counties
- Missouri Regional Counties
- Municipal Labels
- Municipal Boundaries
- Buildings
- Railroads**
 - MAIN
 - SPUR
 - YARD
- Roads**
 - INTERSTATE
 - HIGHWAY
 - MAJOR ARTERIAL
 - MINOR ARTERIAL
 - COLLECTOR
 - LOCAL

Locater Map

Notes

Map Print Date: 2/8/2022 2:17 PM

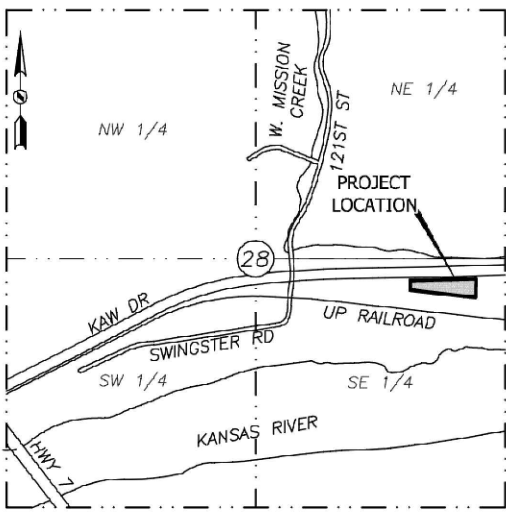


Map Scale
 1: 3,668



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DISCLAIMER OF WARRANTY AND ACCURACY: Unified Government of Wyandotte Co./Kansas City, KS (UG) makes no representations or warranties about this map or its content, including, without limitation, accuracy, completeness, or fitness for any purpose. Users of this map document do so at their own risk; UG will not be liable to any such user for any loss or damage whatsoever.



SECTION MAP
SECTION 28-T11S-R23E
(NOT TO SCALE)

Property Description: Warranty Deed 2018R-06723

All that part of the Southeast Quarter of Section 28, Township 11 South, Range 23 East in Wyandotte County, Kansas bounded as follows: On the East by a line 360.6 feet West of and parallel to the North and South line between Sections 27 and 28, Township 11, Range 23, on the West by a line of right of way of the Union Pacific Railroad Company, on the west by a line 1640 feet East of the North and South centerline of said Section 28, and on the North by the South line of State Highway No. 32, (Golden Belt Highway), less any part taken or used for highway or road purposes, subject to the right of Union Pacific Railroad Company to land 200 feet Northerly of center line of said Railroad Company's right of way.

Lease Area: Union Pacific Railroad Company Lease, Audit 11867

The premises at Bonner Springs, Kansas shown on the print dated November 20, 2018, marked Exhibit A, hereunto attached and made a part hereof [Exhibit shows a 150-foot parcel immediately adjacent to the south line of the tract].

CIVIL ENGINEER

BHC
7101 COLLEGE BOULEVARD, SUITE 400
OVERLAND PARK, KANSAS 66210
P (913) 663-1900
F (913) 663-1633
CONTACT: LESLIE R HAMILTON, PE, PS
les.hamilton@ibhc.com

DEVELOPER

REDPOINT PROPERTIES, LLC
10625 W 57TH ST
SHAWNEE, KS 66203
PH: (913) 710-6064
CONTACT: BRIAN WALTERS
baw841@gmail.com

SURVEYOR OF RECORD

BHC
712 STATE AVE.
KANSAS CITY, KANSAS 66101
P (913) 663-1900
F (913) 663-1633
CONTACT: STEVEN SHAFER
steve.shaffer@ibhc.com

SITE DATA

SITE
PARCEL 952307: 2.4 AC
LEASE AREA: 2.4 AC
TOTAL PROJECT AREA: 4.8 AC

IMPERVIOUS AREA:
EXISTING: AGRICULTURAL USE NONE
PROPOSED: 4.52 AC

BUILDING
BUILDING AREA: CONEX STORAGE CONTAINER (~20-FT X 8-FT X 8.5-FT TALL) = 160 SF

PARKING
PARKING PROVIDED: NO DESIGNATED PARKING (STRIPING NOT PROVIDED)

YARD REGULATIONS:
FRONT YARD = 20-FEET
SIDE YARD = NONE
REAR YARD = 20-FEET

LANDSCAPING:
LANDSCAPING REQUIRED - FRONTAGE: 1 TREE PER 40-FEET @ 690 FEET = 18 TREES
- INTERIOR: MINIMUM 6-PERCENT OF INTERIOR PARKING AREA AND/OR 1 TREE PER 10 PARKING SPACES
LANDSCAPING PROVIDED - FRONTAGE: 19 TREES
INTERIOR: NONE

ZONING

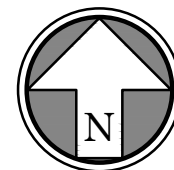
EXISTING ZONING: L-1, LIGHT INDUSTRIAL
PROPOSED ZONING: L-1, LIGHT INDUSTRIAL SUP
EXISTING LAND USE: AGRICULTURAL
PROPOSED LAND USE: CONSTRUCTION CONTRACTOR OUTSIDE STORAGE, SELF-STORAGE WITH OUTSIDE STORAGE

CONSTRUCTION NOTES

- NOT USED.
- PROPOSED 6' CHAIN LINK FENCING - INSTALL ~1.5-FEET FROM PROPERTY LINE. FENCING TO HAVE OPAQUE FENCE SLATS AND 3-STRAND BARB WIRE
- PROPOSED MILLING SURFACE. PLACE OVER SITE, TO EXTEND 1-FOOT BEYOND FENCE LINE
- NOT USED
- EXISTING TREES TO BE SAVED
- REMOVE & DISPOSE OF EXISTING BRUSH TO THE LEASE LINE
- PROPOSED ENTRANCE - SEE KDOT ENTRANCE PLAN ON SHEET C3
- PROPOSED DOUBLE GATE 20' (EACH GATE)
- REMOVE AND DISPOSE OF EXISTING 12" CMP
- PROPOSED STREET TREE INSTALLED AT MINIMUM 30' SPACING; TREE SPECIES TO MEET THOSE SPECIFIED IN BONNER SPRINGS, KS MUNICIPAL CODE 14-613 FOR "SMALL TREE" AND NOT BE INSTALLED WITHIN 10' OF OVERHEAD POWER LINE.
- PROPOSED PRIVATE CONCRETE ENTRANCE

SITE LEGEND

- PROPOSED BUILDING
- PROPOSED CONCRETE PAVEMENT
- PROPOSED MILLINGS SURFACE TREATMENT
- LEASE LINE
- PROPERTY LINE
- 20' SETBACK LINE
- EXISTING OVERHEAD ELECTRICAL LINE
- EXISTING GAS LINE
- EXISTING WATERLINE
- EXISTING FIBER OPTIC LINE
- EXISTING SANITARY SEWER LINE
- TREE TO BE SAVED - DO NOT DISTURB
- PROPOSED STREET TREE



GRAPHIC SCALE
40 0 40

GENERAL NOTES

- Contractor shall verify the location, size, material and depth of all utilities prior to any excavation or construction activity.
- It shall be the Contractor's responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- The Contractor shall be responsible for obtaining and payment of any permits for demolition that pertain to this project.
- All removals required to properly perform the work (whether shown on the plans or not) shall be performed by the Contractor at no additional cost to the owner.

FLOOD PLAIN NOTE

THIS SITE LIES WITHIN FLOOD ZONE "AE" (BASE FLOOD ELEVATIONS DETERMINED) AS SHOWN ON FEMA FIRM, WYANDOTTE COUNTY, KANSAS AND INCORPORATED AREAS, PANEL 128 OF 210, MAP NUMBER 20209C0128D, EFFECTIVE DATE SEPTEMBER 2, 2011.
- BFE ALONG WEST PROPERTY LINE ~775
- BFE ALONG EAST PROPERTY LINE ~775.3

UTILITY CONTACTS

Atmos Energy
Tony Benedict
25090 W 110th Terrace
Olathe, KS 66061
Direct (913) 254-6344

Bonner Springs Utilities
Ron Wyatt (Wastewater and Water)
12401 Kaw Drive
Bonner Springs, KS 66012
Office (913) 422-8117
Cell (913) 207-0359
E-Mail: rwyatt@bonnersprings.org

BPU
Courtney Conner (Electric)
540 Minnesota Ave
Kansas City, KS 66101
Direct (913) 573-9538
E-Mail: cconner@bpu.org

Sprint (T-Mobile)
(877) 651-2379

All existing utility locations shown are approximate only and are not guaranteed to be accurate or all inclusive. Contractor shall be responsible for contacting all utility companies and verifying the actual field locations of all utilities prior to any construction activity. Contractor shall keep all utility locations current. Utilities damaged through the negligence of the contractor to obtain the proper field locations shall be the responsibility of the contractor to repair or replace at their expense and at the direction of the utility company. The contractor shall pothole and survey all utility crossings prior to construction of any portion of storm sewer, sanitary sewer laterals, underdrains, conduit and any other subsurface element of the project. The survey information shall be forwarded to the project engineer for review. The contractor shall not begin construction on any subsurface element on the project without the approval of the project engineer. Utility coordination, potholing/surveying shall be subsidiary to other bid items.

Rev.	Date	Description	By	App.
1	02/07	REMOVED BUILDING		

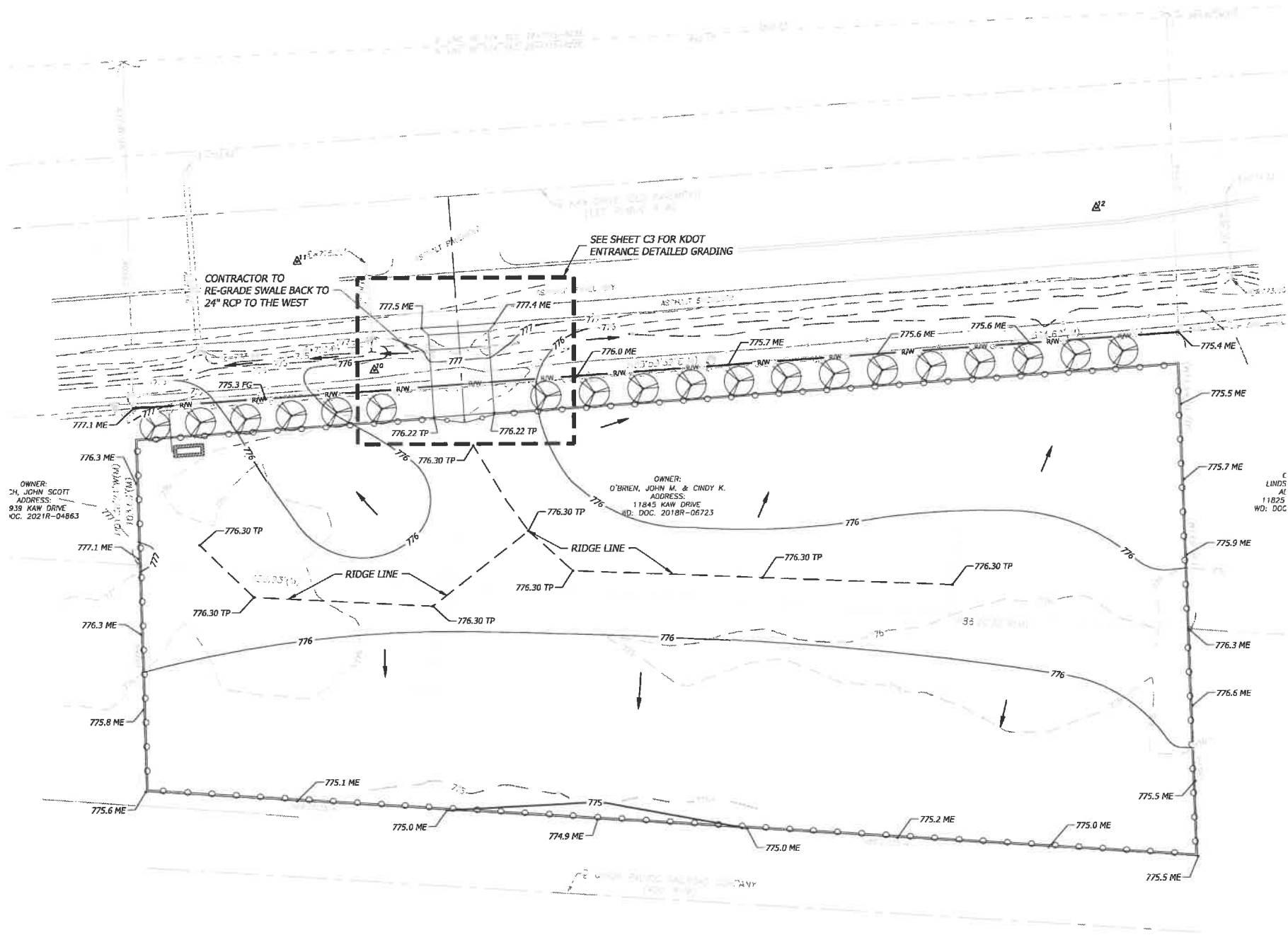


Prepared For:
REDPOINT PROPERTIES, LLC
BRIAN WALTERS
10625 W 57TH STREET
SHAWNEE, KS 66203
913-710-6064

KAW VALLEY STORAGE
11845 KAW DRIVE
BONNER SPRINGS, KS
SITE PLAN

Design: LRH Drawn: IDJ
Checked: LRH
Issue Date: 2022-01-26
Project Number: 032560

C1



GRADING NOTES

1. No Geotechnical Report was provided for this project. Contractor shall be familiar with the existing conditions and perform any investigations deemed necessary.
2. Contractor is responsible for any over excavation of existing unsuitable soils will be required under building and pavement areas. Contractor shall perform over excavation of unsuitable soils as a part of this work.
3. Contractor shall obtain soils suitable as structural fill from off-site sources. All borrow materials must be tested and approved by the Geotechnical Engineer prior to importing the soils to the project site.
4. Contractor shall operate under the terms and permits included in the Stormwater Pollution Prevention Plan (SWPPP) prepared for this project and permitted through the State of Kansas. Contractor shall employ a qualified person to conduct regular inspections of the site erosion control measures and document such inspections in the SWPPP document maintained by the Contractor.
5. All topsoil, vegetation, root structures, and deleterious materials shall be stripped from the ground surface prior to the placement of embankments. Contractor shall be responsible for documentation of acceptability of the existing ground surface materials and the proposed fill material prior to the placement of millings or fill.
6. All proposed contour lines and spot elevations shown are finish ground elevations. Contractor shall account for pavement depths, building pads, topsoil, etc when grading the site.
7. All disturbed areas that are not to be paved (green spaces) shall be finish graded with a minimum of six inches of topsoil prior to seeding.
8. Finished grades shall not be steeper than 3:1.
9. All grading work shall be considered unclassified. No additional payments shall be made for rock excavation. Contractor shall satisfy himself as to any rock excavation required to accomplish the improvements shown hereon.

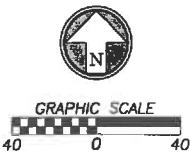
GRADING LEGEND

- 980 FINISH GRADE MAJOR CONTOURS
- 982 FINISH GRADE MINOR CONTOURS
- 980 EXISTING GRADE MAJOR CONTOURS
- 982 EXISTING GRADE MINOR CONTOURS
- LEASE LINE
- PROPERTY LINE
- EXISTING OVERHEAD ELECTRICAL LINE
- EXISTING UNDERGROUND ELECTRICAL LINE
- EXISTING GAS LINE
- EXISTING WATERLINE
- DRAINAGE DIRECTION

DETAILED GRADING LEGEND

- 0000.00 TP TOP OF PAVEMENT ELEVATION
- 0000.00 ME MATCH EXISTING GRADE
- 0000.00 FG FINISHED GRADE ELEVATION

PROJECT CONTROL TABLE (NAD83 KANSAS STATE PLANE, NORTH ZONE, US SURVEY FOOT)				
POINT NO.	CONTROL POINT/ BENCHMARK DESCRIPTION	NORTHING COORDINATE	EASTING COORDINATE	ELEV.
10	CP10 /IB4 CP CAP	281900.17	2204607.43	776.80'
11	CP11 /IB4 CP CAP	281972.30	2204556.68	776.64'
12	CP12 /IB4 CP CAP	282006.17	2205086.66	775.96'



ISSUED
1/25/2022
9264
KANSAS
PROFESSIONAL ENGINEER
BRIAN R. WALTERS
KS PE 9264

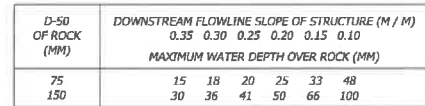
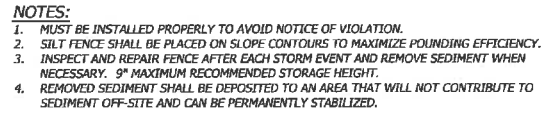
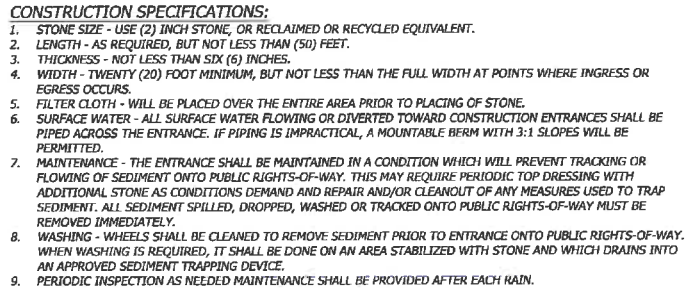
PHC
CIVIL ENGINEERING / SURVEYING / UTILITIES
1111 E. 10TH AVE., SUITE 100
OVERLAND PARK, KS 66206
P: 913.453.1900
BEC & LICENSE # 00000000000000000000000000000000

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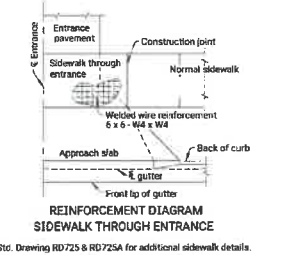
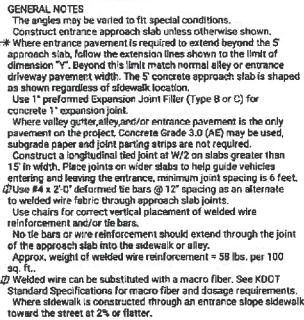
KAW VALLEY STORAGE
11845 KAW DRIVE
BONNER SPRINGS, KS
GRADING PLAN

Design: LRH Drawn: IDJ
Checked: LRH
Issue Date: 2022-01-26
Project Number: 032560

C2



601 Filter Fabric Silt Fence



1	10/1/01	Joint Entry Test T-Addit	11.8	2.19K
2	1/2/02	Buy Gasoline	7.3	5.94K
3	1/1/02	Add income from J. General note	9.6	1.0A
4	3/30/02	Chit 01111111 to Credit card, mean	9.6	1.0A
NC	04/02	REVSUPDIS	87	AP070

EQUUS DEPARTMENT ON TEAM VETERATIONS

ALLEY & ENTRANCE PAVEMENT

RD726

ITEM NUMBER	UNIT	AMOUNT	EXT	TOTAL
SECTION 2	DETAIL ON	100.00	100.00	100.00